### ABBREVIATIONS Å FOUNDATION PREFIN PREFINISHED AND FDN PROJ P.S.F. AT F.E. FIRE EXTENGUISHER PROJECT F.E.C. F.F. CENTERLINE POUNDS PER SQUARE FIRE EXTINGUISHER CABINET P.S.I. POUNDS PER SQUARE DIAMETER FACTORY FINISH .с Р.Т. F.F.L. FINISH FLOOR LINE PENNY PRESSURE TREATED P.T.D. POUND OR NUMBER F.H.C. FIRE HOSE CABINET PAPER TOWEL DISPENS P.T.D.W.R. COMBINATION PAPER TO TEE FIN FINISH & RECEPTACLE PROPERTY LINE FLOOR FL SQUARE FEET OR SQUARE FOOTAGE FLSG PTN FLASHING PARTITION P.T.R. PERCENT FLOORING PAPER TOWEL RECEPTAG FLG PVMT FLUORESCENT PAVEMENT PLUS OR MINUS FLUOR F.O.C. FACE OF CONCRETE F.O.F. Q.T. QUARY TILE AR ANCHOR BOLT FACE OF FINISH A.B.S. APPROVED BY SUBMITAL F.O.M. FACE OF MASONRY A.C. F.0.S. FACE OF STUD R RISER, RADIUS ALTERNATING CURRENT A.C.T. R.D. ROOF DRAIN ACOUSTICAL CEILING TILE F.O.SH. FACE OF SHEATHING A/C AC R.D.O. ROOF DRAIN OVERFLOW F.P. FIRE PROOF AIR CONDITION FRMG FRAMING ACOUSTICAL FT A.D. AREA DRAIN FOOT, FEET FTG REBAR REINFORCING BAR FOOTING A.D.A AMERICANS WITH DISABILITIES ACT FURRING RECD FURR RECEIVED (GUIDELINES) FUT FUTURE REF REFERENCE ADJ ADJUSTABLE REFL ADJT REFLECTED ADJACENT GA GAUGE REFR A.F.A. REFRIGERATOR ABOVE FINISH FLOOR GALV GALVANIZED REINF REINFORCE (D,ING) AGGR AGGREGATE GB GRAB BAR REQ REQUIRED AL, ALUM ALUMINUM GEN GENERAL ALT ALTERNATE G.O.I. GROUND FAULT INTERUPTER S SOUTH ANC ANCHORAGE G.I. GALVANIZED IRON SB SPLASHBLOCK APPD APPROVED GL GLASS SC SEAT COVER DISPENSER APPROX APPROXIMATE GLUE LAMINATED BEAM G.L.B. SCHED SCHEDULE ARCH ARCHITECTURAL G.M.U. GLAZED MASONRY UNIT ASB SD SOAP DISPENSER, STOR ASBESTOS GND GROUND SDG SIDING ASPH ASPHALT SECT SGD S.F. GR GRADE AUTO SECTION AUTOMATIC G.WB. GYPSUM WALL BOARD SLIDING GLASS DOOR AVG AVERAGE GYP GYPSUM SQUARE FEET SH SHELVES BD BOARD HIGH Н SHR SHOWER BTW BETWEEN HOSE BIBB BITUM HB SHT SHEET BITUMINOUS+ HOLLOW CORE HC SHTG SHEATHING ΒN BULL NOSE HD HEAD SQUARE INCHES BLDG S.I. BUILDING HDWR HDWD HARDWARE SIMILAR BM SIM BEAM BTM HARDWOOD S.M.A.C.N.A. SHEET METAL AND AIRC BOTTOM HORIZ HORIZONTAL BRG BSMT CONTRACTORS NATIONAL BEARING HT HEIGHT S.N.D. SANITARY NAPKIN RECE BASEMENT HTG HEATING SPEC SPECIFICATION B.U.R. BUILT UP ROOF HVAC HEATING VENTILATION AIR SQ SQUARE CONDITIONING SSK SERVICE SINK COURSES С H.T.A. HOT WATER TANK CAB CAPL C.B. SS STAINLESS STEEL, SANIT CABINET STD STANDARD CAPILLARY I.B.C. INTERNATIONAL BUILDING CODE STL STOR STR STEEL CATCH BASIN I.D. INSIDE DIAMETER CEM STORAGE CEMENT INCL INCLUDE CER C.F. STRUCTURAL CERAMIC INFO INFORMATION SUB SUBSTITUTE CUBIC FOOT C.F.C.I. INSUL INSULATION SUSP SUSPENDED CONTRACTOR FURNISHED CONTRACTOR INT INTERIOR SYM SYMMETRICAL INSTALLED INTERCOMMUNICATION INTERCOM C.G. SYSTEM CORNER GUARD SYS INTERNATIONAL RESIDENTIAL CODE IRC C.I. C.J. CAST IRON TREAD CONTROL JOINT JANITOR JAN CLG TAN TANGENT CEILING CLKG CLO CLR C.M.R. JST JOIST ΤB CAULKING TOWEL BAR JOINT JT TEL TELEPHONE CLOSET CLEAR TEMP TEMPORARY KIT KITCHEN TERR T & G CONCRETE MASONRY UNIT TERRAZO CNTR CO COL COMP CONC TOUNGE AND GROOVE COUNTER CLEANOUT LENGTH, LONG THK THICK LAB LABORATORY COLUMN THRU THROUGH LAM LAMINATE COMPOSITION TILE TL LAV LAVATORY T.O.C. TOP OF CURB CONCRETE CONC CONN CONST CONT CONTR CORR CPT CT CTR CTR C.Y. T.O.F. T.O.S. TOT LKR LOCKER TOP OF FOOTING CONNECTION L.L. LT LIVE LOAD CONSTRUCTION TOP OF SLAB LITE, LEFT CONTINUOUS TOTAL LV T.O.P. LOUVER TOP OF PAVEMENT CONTRACTOR T.T.D. TOILET TISSUE DISPENS CORRIDOR MACH MACHINE T.S. T.S.G. TUBE STEEL CARPET MATL MATERIAL TEMPERED SAFETY GLAS CERAMIC TILE MAX MAXIMUM TELEVISION CENTER ΤV MBR MEMBER TOP OF WALL TW CUBIC YARD MC MEDICINE CABINET TYP TYPICAL MECH MECHANICAL D DBL D.C. DEMO DTL DF DIA DIAG DIM DISP DIV DN DP DEEP, DEPTH, DEGREE MED MEDIUM U.F.A.S. UNIFORM FEDERAL ACCE DOUBLE MEMB MEMBRANE DIRECT CURRENT UNFIN UNFINISHED MEZZ MFR MEZZANINE UNLESS NOTED OTHERW UNO DEMOLISH, DEMOLITION MANUFACTURER DETAIL UR URINAL ΜΗ MANHOLE DRINKING FOUNTAIN MIL MILITARY VB VAPOR BARRIER, VINYL DIAMETER MINIMUM DIAGONAL MIN VCT VINYL COMPOSITION TIL MIR MIRROR DIMENSION VENT VENTILATE MISC MISCELLANEOUS VER VERIFY DISPOSAL MK M.O. VERT VEST MARK VERTICAL DIVISION MASONRY OPENING VESTIBULE DOWN MT(D) MTL DAMPROOF MOUNTED VOL VOLUME DR DS D.F. DW DWG DWR METAL VYL VINYL DOOR MUL MULLION DOWNSPOUT W WEST, WIDE, WIDTH DRY STANDPIPE NORTH WIDTH DISHWASHER N W/ NATURAL NAT WATER CLOSET, WALL C DRAWING ŴĊ NATIONAL ELECTRIC CODE N.E.C. DRAWER WD WOOD NIC NO OR NOM NOT IN CONTRACT WINDOW WDW NUMBER (E) WH WALL HUNG EXISTING NOMINAL EAST W/O WITHOUT NTS NOT TO SCALE, NOT TO SURE WATERPROOF EACH WP EA EXTERIOR INSULATION FINISH SYSTEM OA OVER-ALL E.I.F.S. WSCT WAINSCOT 0BS 0.C. OBSCURE WTHR BARR WEATHER BARRIER E.J. EXPANSION JOINT EL ELEC ELEV EMER ON CENTER ELEVATION WEATHER STRIPPING WS 0.D. OUTSIDE DIAMETER ELECTRICAL WT WEIGHT OFF OFFICE ELEVATOR WATER WTR ОН OVERHEAD WELDED WIRE FABRIC EMERGENCY WWF OPNG OPENING ENCLOSURE ENCL W.S.E.C. WASHINGTON STATE ENE OPP OPPOSITE E.P. ELECTRICAL PANELBOARD E.P.D.M. ETHYLENE-PROPYLENE-DIENE MONOMER ORIG ORIGINAL ORIENTED STRAND BOARD OSB EQ EQUIP E.W. EQUAL EQUIPMENT PAR PARALLEL EACH WAY E.W.C. EXC EXH EXIST EXP EXPO PC PRECAST ELECTRIC WATER COOLER PERF PERFORATED EXCAVATE PERP PERPENDICULAR EXHAUST PLAM PLASTIC LAMINATE EXISTING

ΡL

PLAS

PLBG

PNL POS

PR

PLYWD

PREFAB

EXPANSION

EXPOSED

EXTERIOR

FIRE ALARM

FACE BRICK

FLOOR DRAIN

FABRICATE

EXT

F.A. FAB

FB

FD

PLATE

PLASTER

PLUMBING

PLYWOOD

PANEL

PAIR

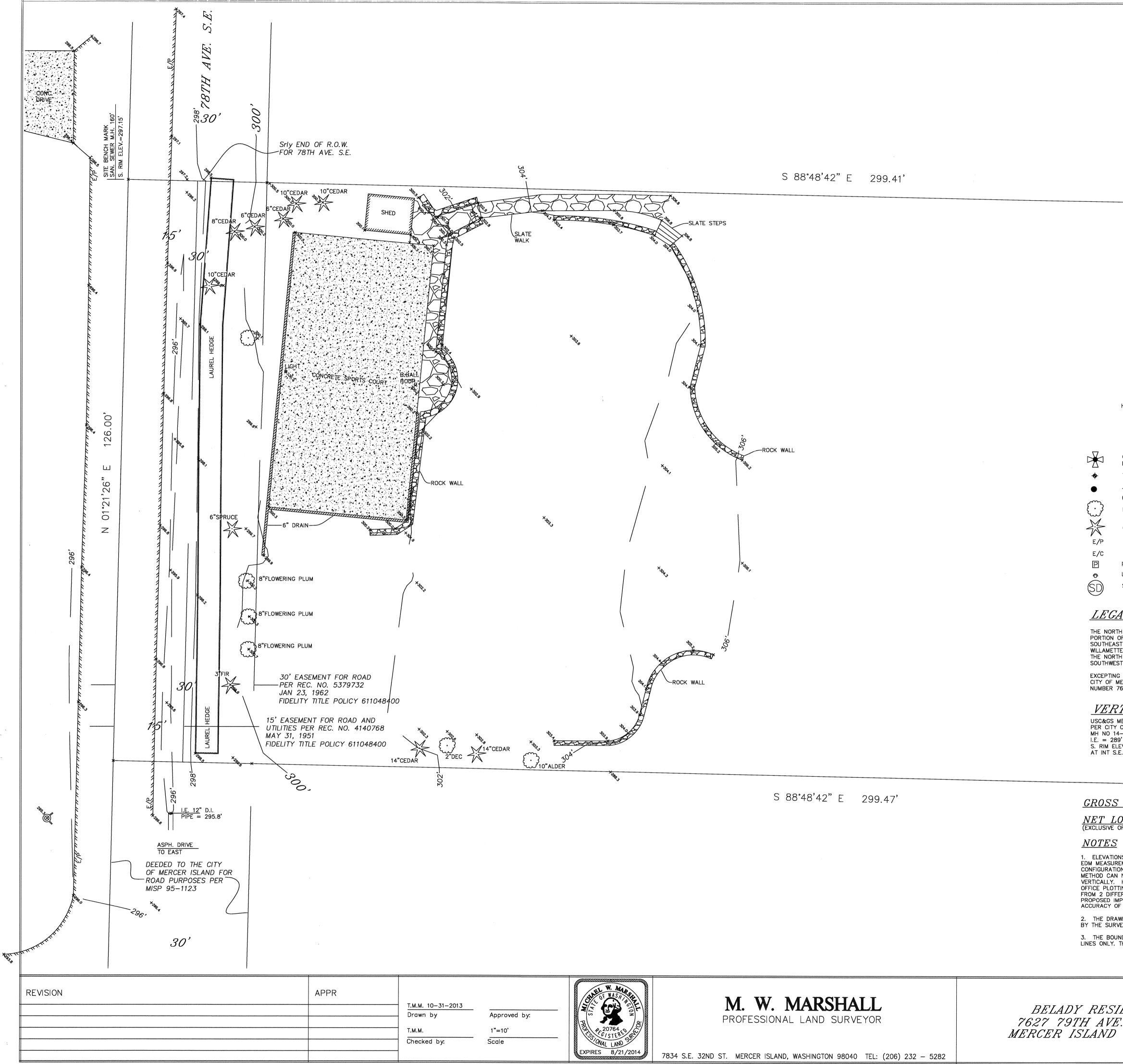
POSITIVE

PREFABRICATED

# $DELADV \cap ADACE$

SHEET NDEX         CENERAL INFORMATION         SUMPLY           00.01         OUDER SHELL         DOWN'S WINN TO THE DAY INFORMATION         DOWN'S WINN TO THE DAY INFORMATION TO TH	ELADY ARAGE / ORY BUILDING 7 79TH AVE SE LAND, WASHINGTON 98040
COUNT         COUNT SUPERT         Set TO PORT ALL	ARAGE / DRY BUILDING 7 79TH AVE SE LAND, WASHINGTON
A2.03     TRUSS PLANS, ROOF PLANS     PROJECT PLANS     PR	
A7.01 DOOR & WINDOW SCHEDULE EXCOMPONENCE EX	CHITECTS H AVENUE NE WA 98004
S-2       FRAMING PLAN       NOTES         S-3       FRAMING DETAILS       1. CONTRACTOR SMULL VERTY: ALL LOPES, DURINGINS AND DISTING CONTRACTOR SMULL VERTY: ALL LOPES, DURING DETAILS REPORT PROCEEDING ND SHILL DO BERCHE FOR ESCI AND SHIDE TO PROCEEDING ND SHIDE TO PROCEEDING ND SHIDE TO PROCEEDING DURING DETAILS       1. CONTRACTOR SMULL VERTY: ALL LOPES, DURING DETAIL REPORT PROCEEDING ND SHIDE TO PROCEEDING ND SHIDE TO PROCEEDING ND SHIDE TO PROCEEDING DURING DETAILS       1. CONTRACTOR SHIDL VERTY: ALL LOPES, DURING DETAILS ND TO PROCEEDING ND SHIDE TO PROCEEDING DURING DETAILS ND TO PROCEEDING DURING DETAILS OF THE SHORE OF TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION, IF CONTLICTS GROUP DETAILS OF THE SHORE OF THE DRAWNS SHOLD ACCUR THE LARGES SCALE DEPARTMENT SHOLD COVER DETAILS OF THE STORE PROCEEDING TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION, IF CONTLICTS SHALL DOVERN CONFLICTS OR CONDITIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION, IF CONTLICTS SHALL DOVERN CONFLICTS OR CONDITIONS SHOLD DOVER THE DRAWNS SHOLD SPECIFICATIONS SHALL DOVERN CONFLICTS DETAILS OF SPECIFICATIONS SHALL DOVERN CONFLICTS DETAILS DETAILS 3. ALL DIMENSIONS ARE MEASURED TO THE FACE OF STUD, U.N.O.       1. ALL DIMENSIONS ARE MEASURED TO THE FACE OF STUD, U.N.O.         ERR SS       5. ALL CONSTRUCTION SHALL IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD CODES AND SPECIFICATIONS AS AS DEDUCES AND SPECIFICATIONS AND THE CODES AND SPECIFICATIONS AS AS DEDUCES AND DOOR JAMING STHE DETAILS AND THE CODES THE DETAIL TO ACCURS BENEL SSELLTY       5. ALL CONSTRUCTION SHALL IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD CODES AND SPECIFICATIONS AS AND THE CODES. THE DOWN OF COLORS AND SPECIFICATIONS SHALL DIVISION AND THE CODES. THE CODES AND ACCORDED THE GOVERNIND THE CODES. THE CONTO COLORS BESELLTY	
	TURAL DRAWINGS ARE THE NTRACT DRAWINGS. CIVIL, E STRUCTURAL, MECHANICAL, ELECTRICAL, AND FIRE N, SHALL BE USED IN ION WITH ARCHITECTURAL THE GENERAL CONTRACTOR RIFY AND COORDINATE S AMONG ALL DRAWINGS. ANY NCIES, CONTRADICTIONS, OR SHALL BE REPORTED TO THE FOR RESOLUTION PRIOR TO NG WITH WORK OR ON OF THE ITEM(S) IN ILL SIZE DRAWING UNLESS ON 24"x36" SHEET.
ERGY CODE  A CHILD LANCE  A CHILD LANCE A CHILD LAN	BY       J. BAZAN         18–116         ATE:       12.23.2019

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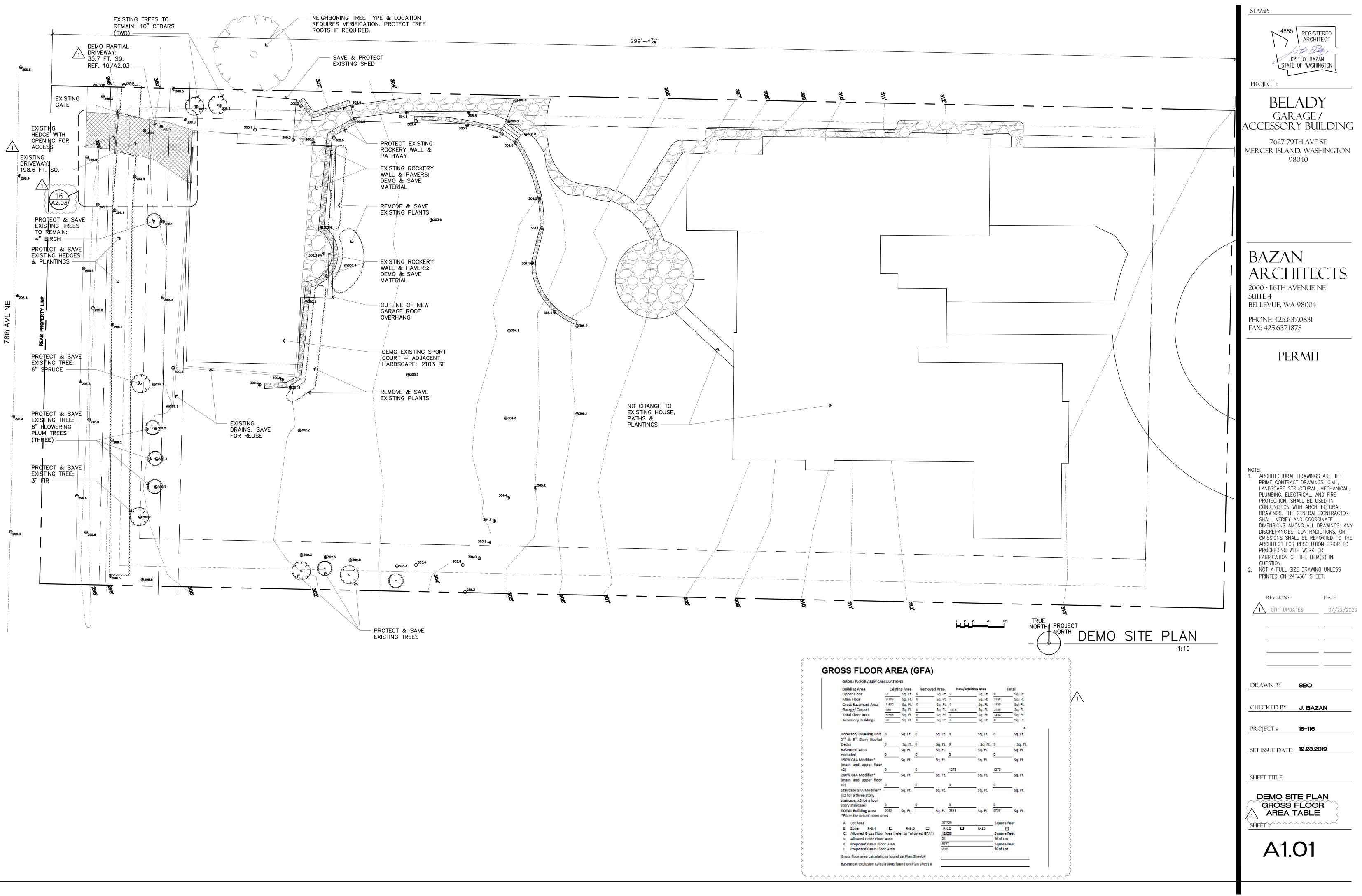


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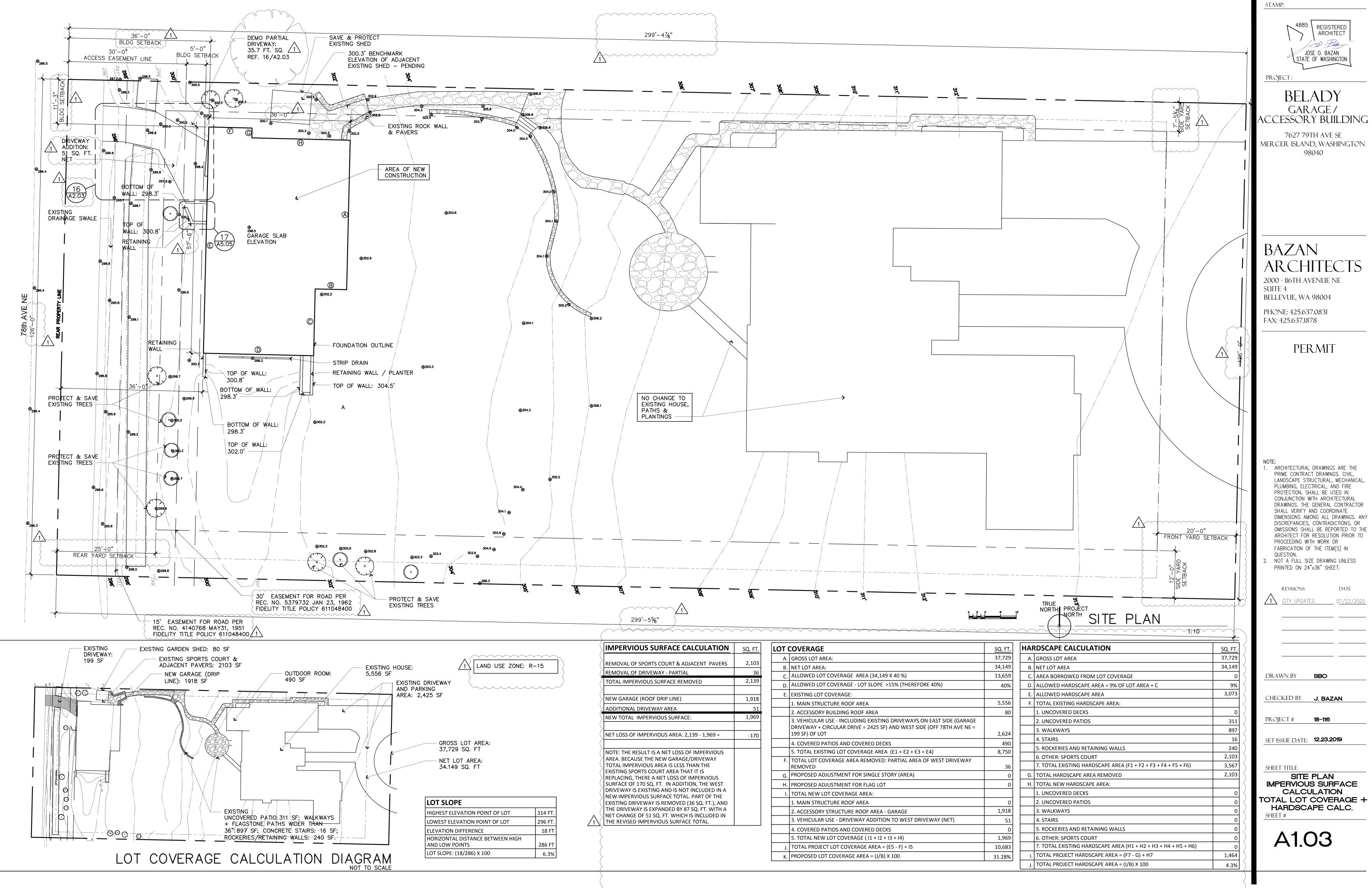
e.

*p*.

				ł	
					30'
GRAPHIC SC 5 0 5 10					
1 INCH = 10 MERIDIAN-K.C.A.S. NORTH HELD BEARING N 01°21'26" E ALONG	LAMBERT GRID	. S.E.	DISTRICT		
<i>LEC</i>	END:		SEWER	126.00	S.E.
CONCRETE MONUMENT IN CASE 03- DOWN 0.8' TYP TACK SET IN LEAD PLUG IN CONC.	53	SANITARY SEWER MANHOLE	ER ISLAND	ш	AVE.
1/2" REBAR/CAP SET (UNLESS OTHERWISE NOTED) DECIDUOUS TREE		STORM DRAIN CATCH BASIN UTILITY POLE	FOR MERCER	19'41'	79TH AVE.
CONIFEROUS TREE	×	WATER VALVE WATER METER	EASEMENT	N 01	ž
EDGE OF ASPHALT PAVING	Q	FIRE HYDRANT GAS METER	-10' EA		
EDGE OF CONCRETE PHONE STACK	ତ	GAS VALVE			
UTILITY POLE ANCHOR STORM DRAIN MANHOLE	DM × <sub>ve</sub> ,	DRAIN MANHOLE			
<u>L DESCRIPTION</u>	-				
1 126 FEET OF THE SOUTH 504 FEE F THE EAST HALF OF THE SOUTHWE QUARTER OF SECTION 25, TOWNSH MERIDIAN, IN KING COUNTY WASHIN LINE OF THE SOUTH 10 ACRES OF QUARTER OF THE SOUTHEAST QUA	ST QUARTER OF THE IP 24 NORTH, RANGE 4 E NGTON, LYING NORTH OF SAID EAST HALF OF THE	EAST,			
THEREFROM THE EAST 30 FEET THE ERCER ISLAND BY INSTRUMENT RECO 006070605		THE			
TICAL DATUM EAN SEA LEVEL 1929, ADJ.1947 DF MERCER ISLAND SEWER AS-BUILT -59	Г МАР				
, 00 V.=297.15' . 76TH ST. AND 78TH AVE. S.E. AS	NOTED HEREON				
				*	
LOT AREA = 37,72 DT AREA = 33,949 F 30' RD. ESMT)					<i>30'</i>
MENTS. WITH THE EXCEPTION OF C	ONTOUR LINES, THE PURP	SHOWN HEREON HAVE BEEN LOCATED BY SINGLE OSE OF WHICH IS TO SHOW THE GENERAL			
NORMALLY BE EXPECTED TO BE ACC HOWEVER, THERE IS ALWAYS THE PO NG OF THE TOPOGRAPHIC INFORMAT RENT SURVEY CONTROL STATIONS. I	CURATE WITHIN 0.5 OF A OSSIBILITY OF A FEW ERR ION UNLESS EACH POINT T WOULD BE ADVISABLE 1	DPOGRAPHIC INFORMATION LOCATED BY THIS FOOT HORIZONTALLY AND WITHIN 0.2 OF A FOOT ORS IN THE FIELD MEASUREMENTS OR IN THE IS LOCATED AND THE ELEVATION IS DETERMINED TO MAKE A PRELIMINARY LOCATION OF ANY ITRACTS ARE MADE IN ORDER TO VERIFY THE			
THE TOPOGRAPHIC INFORMATION IN	RELATION TO THE PROPO ESSARILY CONTAIN ALL O	SED CONSTRUCTION.	1		
DARY CORNERS AND LINES DEPICTED HEY DO NOT PURPORT TO SHOW OW	D ON THIS MAP ARE PER WNERSHIP LINES THAT MA'	RECORD TITLE INFORMATION AND REPRESENT DEEL Y OTHERWISE BE DETERMINED BY A COURT OF LAW	) I.		
	TOPO	)GRAPHIC SURVE)	/	JOB NUMB	ER
DENCE S.E.	A PTN.	OF OF THE SW 1/4 OF	THE	500	)1
WA 98040	SE 1/4	4 OF SEC. 25, T.24N., R.4E., W.M.		sheet 1	of 1



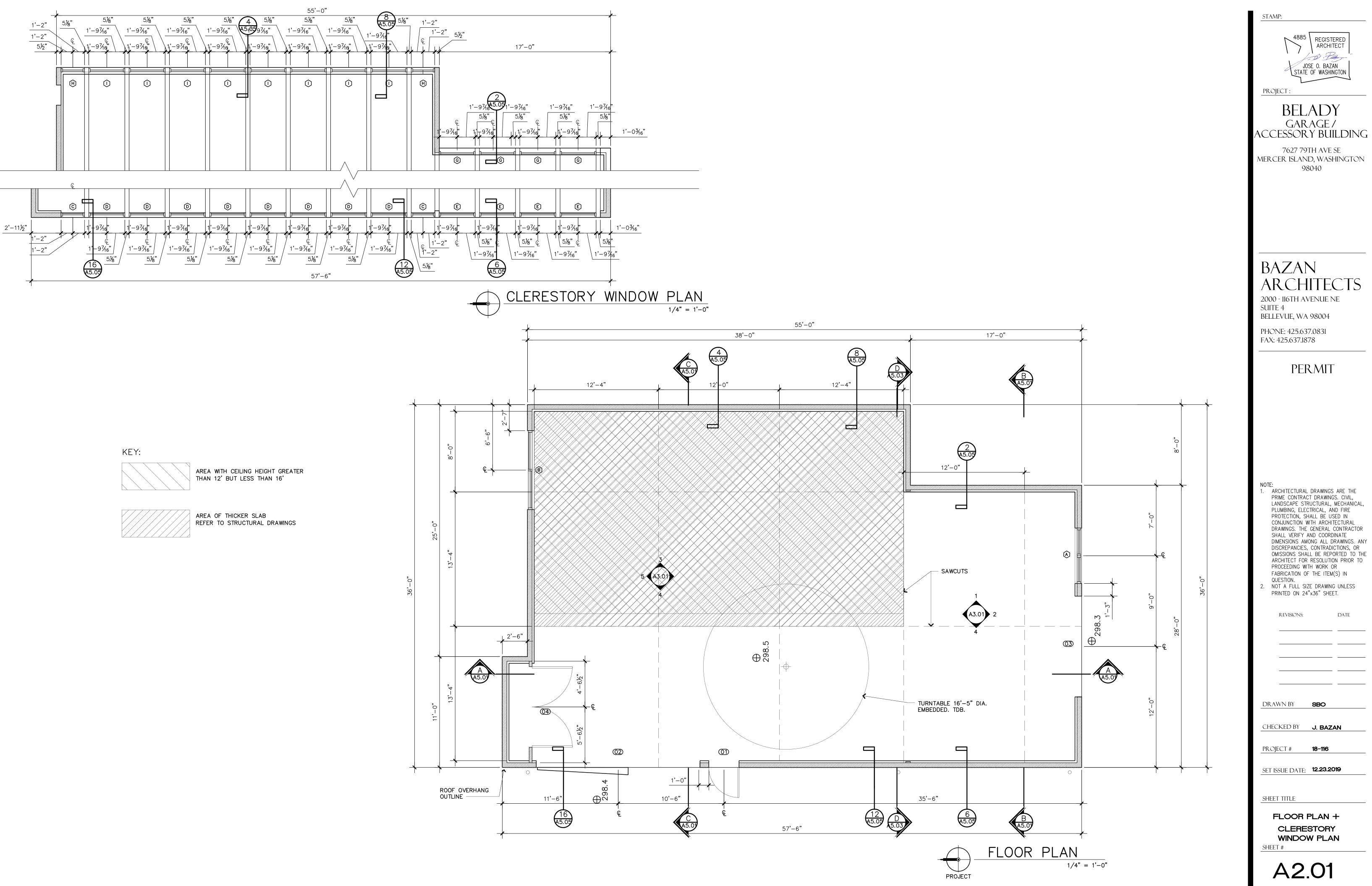
GROSS FLOOR AREA CAL	CULATIC	DNS		
Building Area	Exist	ing Area	Remove	d Are
Upper Floor	Q	Sq. Ft.	Q	Sq.
Main Floor	3,369	Sq. Ft.	0	Sq.
Gross Basement Area	1,490	Sq. Ft.	0	Sq.
Garage/ Carport	680	Sq. Ft.	0	Sq.
Total Floor Area	5,566	Sq. Ft.	0	Sq.
Accessory Buildings	80	Sq. Ft.	0	Sq.
Accessory Dwelling Unit	0	Sq. Pt.	0	Sq.
2nd & 3nd Story Roofed		_		
Decks	0	Sq. Ft.	0	Sq.
Basement Area		Sq. Ft.	-	Sq.
Excluded	0	_	0	
150% GFA Modifier*		Sq. Pt.		Sq.
(main and upper floor				
x2)	0	_	0	
200% GFA Modifier*		Sq. Ft.		Sq.
(main and upper floor				
x2)	0	_	0	
Staircase GFA Modifier*		Sq. Ft.		Sq.
(x2 for a three story				
staircase, x3 for a four				
story staircase)	0	_	0	
TOTAL Building Area *Enter the actual room ar	5646 ea	_ Sq. Ft.		Sq.
A. Lot Area				
B. Zone R-8.4		R-9.	6 🗆	
C. Allowed Gross Floor	Area (re	efer to "al	lowed GFA")	
D. Allowed Gross Floor	Area			
E. Proposed Gross Floo	or Area			
F. Proposed Gross Floo	or Area			
Gross floor area calculation	ons foun	d on Plan	Sheet #	
Basement exclusion calcu	lations f	ound on F	lan Sheet #	



PE	
EVATION POINT OF LOT	314 FT
VATION POINT OF LOT	296 FT
DIFFERENCE	18 F1
L DISTANCE BETWEEN HIGH OINTS	286 F1
(18/286) X 100	6.3%

(		
(	IMPERVIOUS SURFACE CALCULATION	SQ. FT.
(	REMOVAL OF SPORTS COURT & ADJACENT PAVERS	2,103
(	REMOVAL OF DRIVEWAY - PARTIAL	36
(	TOTAL IMPERVIOUS SURFACE REMOVED	2,139
(		
	NEW GARAGE (ROOF DRIP LINE)	1,918
	ADDITIONAL DRIVEWAY AREA	51
(	NEW TOTAL IMPERVIOUS SURFACE:	1,969
(		
(	NET LOSS OF IMPERVIOUS AREA: 2,139 - 1,969 =	-170
(		
(	NOTE: THE RESULT IS A NET LOSS OF IMPERVIOUS	
(	AREA. BECAUSE THE NEW GARAGE/DRIVEWAY	

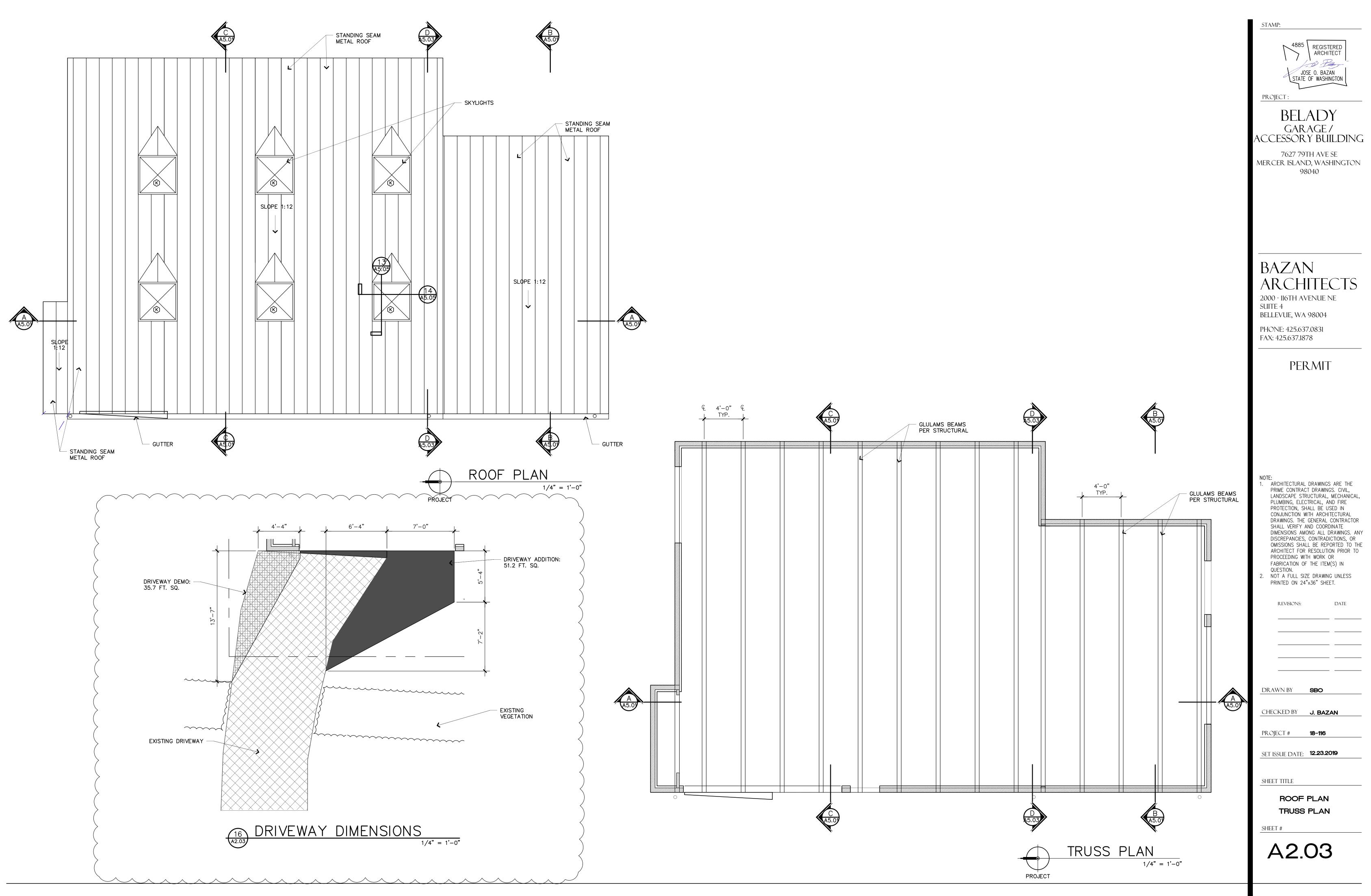
LOT	COVERAGE
Α.	GROSS LOT AREA:
В.	NET LOT AREA:
C.	ALLOWED LOT COVERAGE AREA (34,149 X 40 %)
D.	ALLOWED LOT COVERAGE - LOT SLOPE >15% (THEREFORE 40%)
E.	EXISTING LOT COVERAGE:
	1. MAIN STRUCTURE ROOF AREA
	2. ACCESSORY BUILDING ROOF AREA
	3. VEHICULAR USE - INCLUDING EXISTING DRIVEWAYS ON EAST SIDE DRIVEWAY + CIRCULAR DRIVE = 2425 SF) AND WEST SIDE (OFF 78TH 199 SF) OF LOT
	4. COVERED PATIOS AND COVERED DECKS
	5. TOTAL EXISTING LOT COVERAGE AREA (E1 + E2 + E3 + E4)
F.	TOTAL LOT COVERAGE AREA REMOVED: PARTIAL AREA OF WEST DR REMOVED
G.	PROPOSED ADJUSTMENT FOR SINGLE STORY (AREA)
Н.	PROPOSED ADJUSTMENT FOR FLAG LOT
I.	TOTAL NEW LOT COVERAGE AREA:
	1. MAIN STRUCTURE ROOF AREA
	2. ACCESSORY STRUCTURE ROOF AREA - GARAGE
	3. VEHICULAR USE - DRIVEWAY ADDITION TO WEST DRIVEWAY (NET
	4. COVERED PATIOS AND COVERED DECKS
	5. TOTAL NEW LOT COVERAGE ( 11 + 12 + 13 + 14)
J.	TOTAL PROJECT LOT COVERAGE AREA = (E5 - F) + I5
К.	PROPOSED LOT COVERAGE AREA = (J/B) X 100

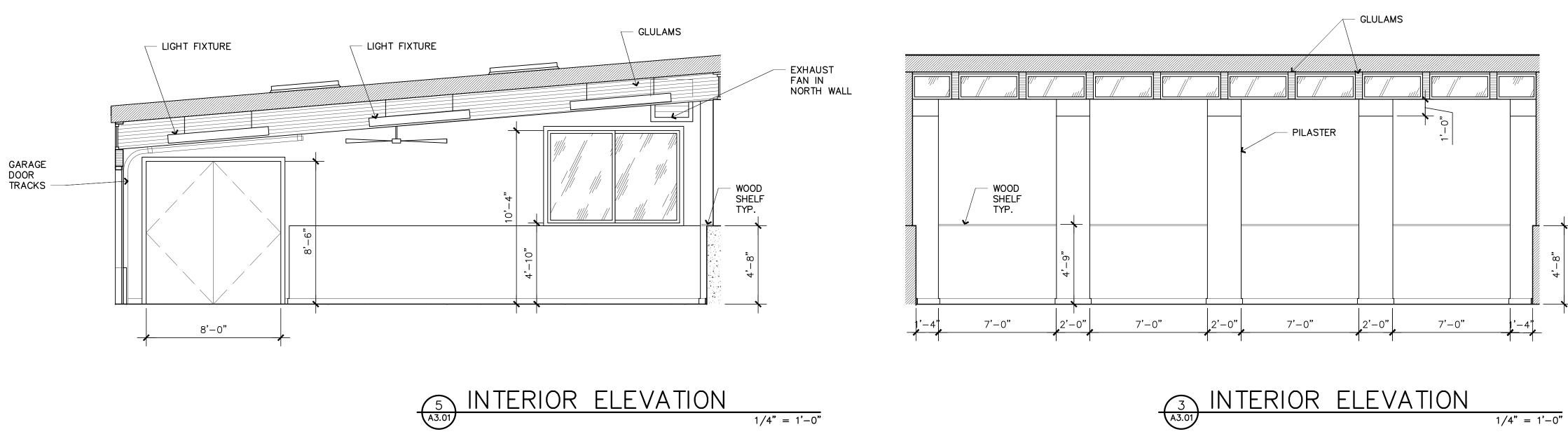


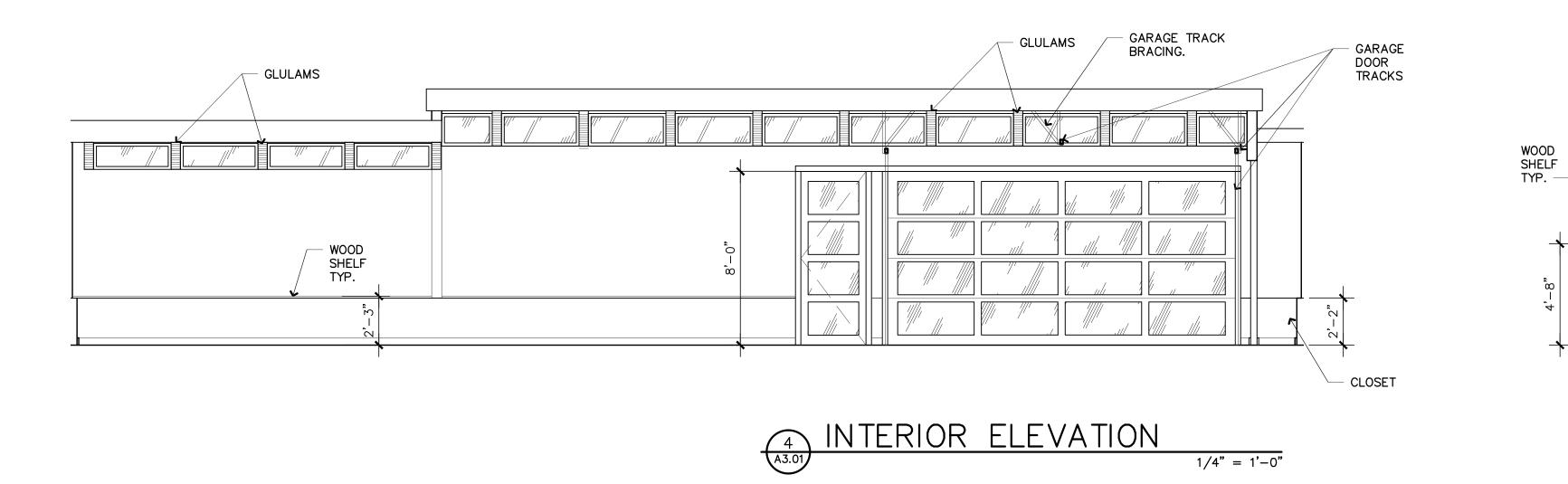


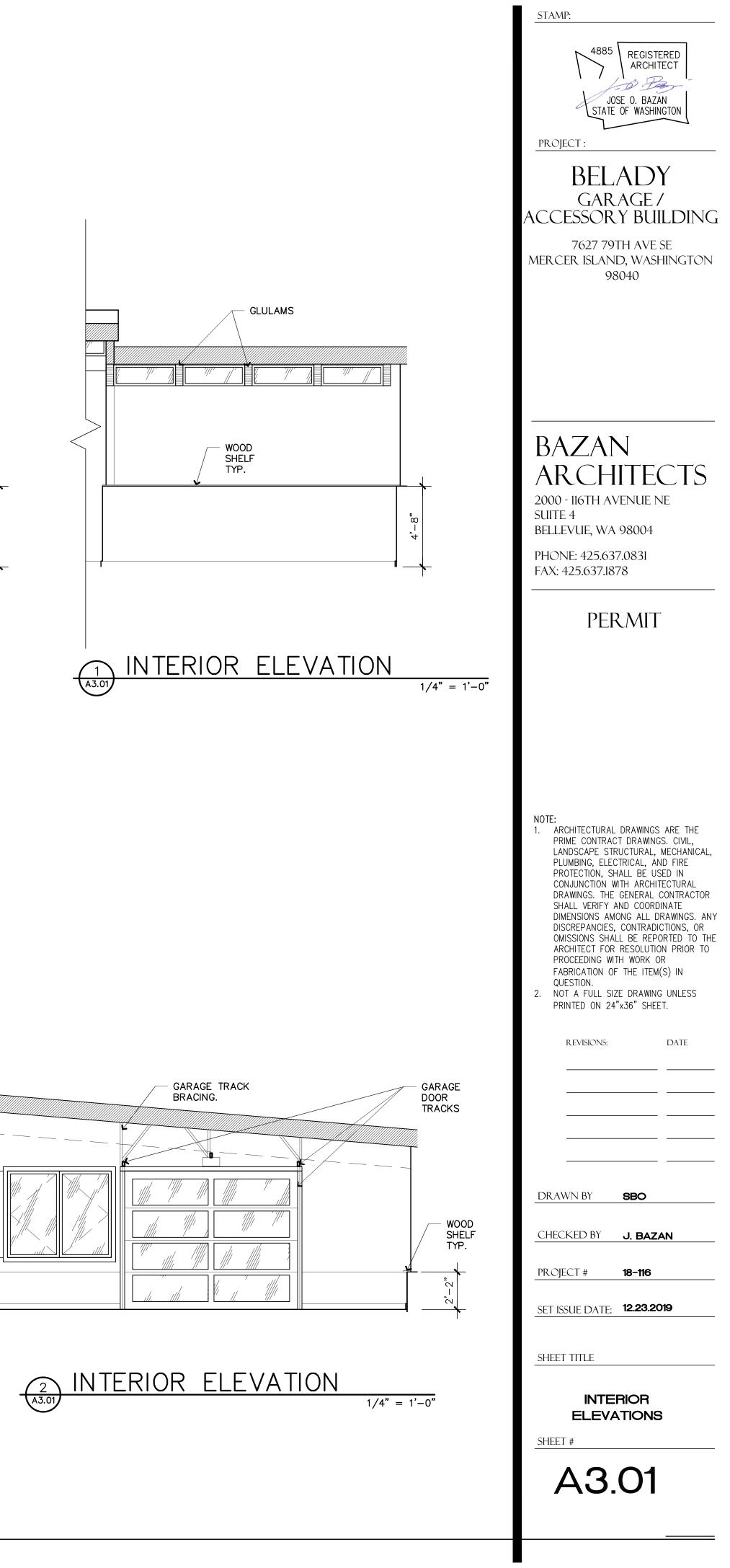


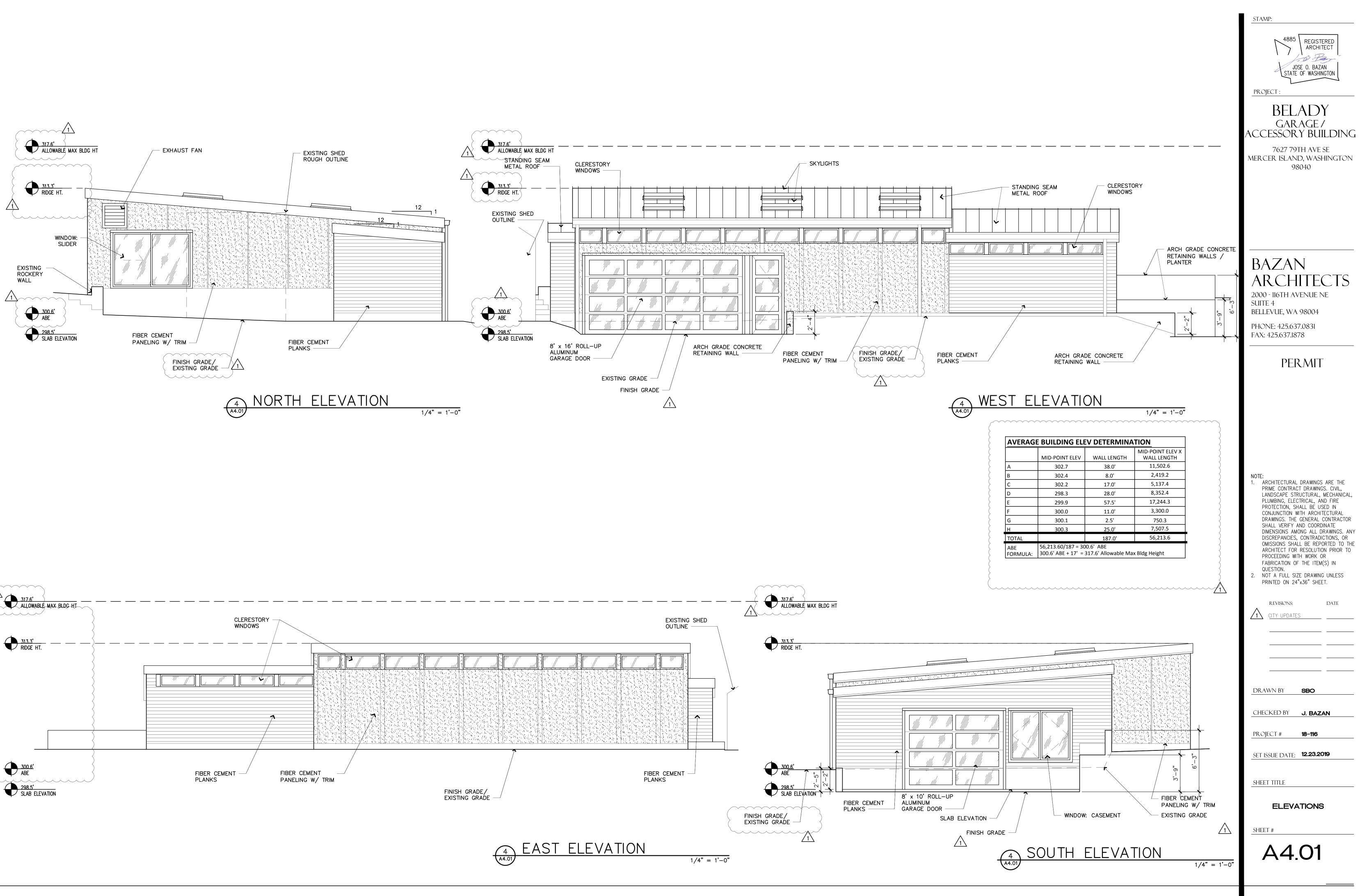


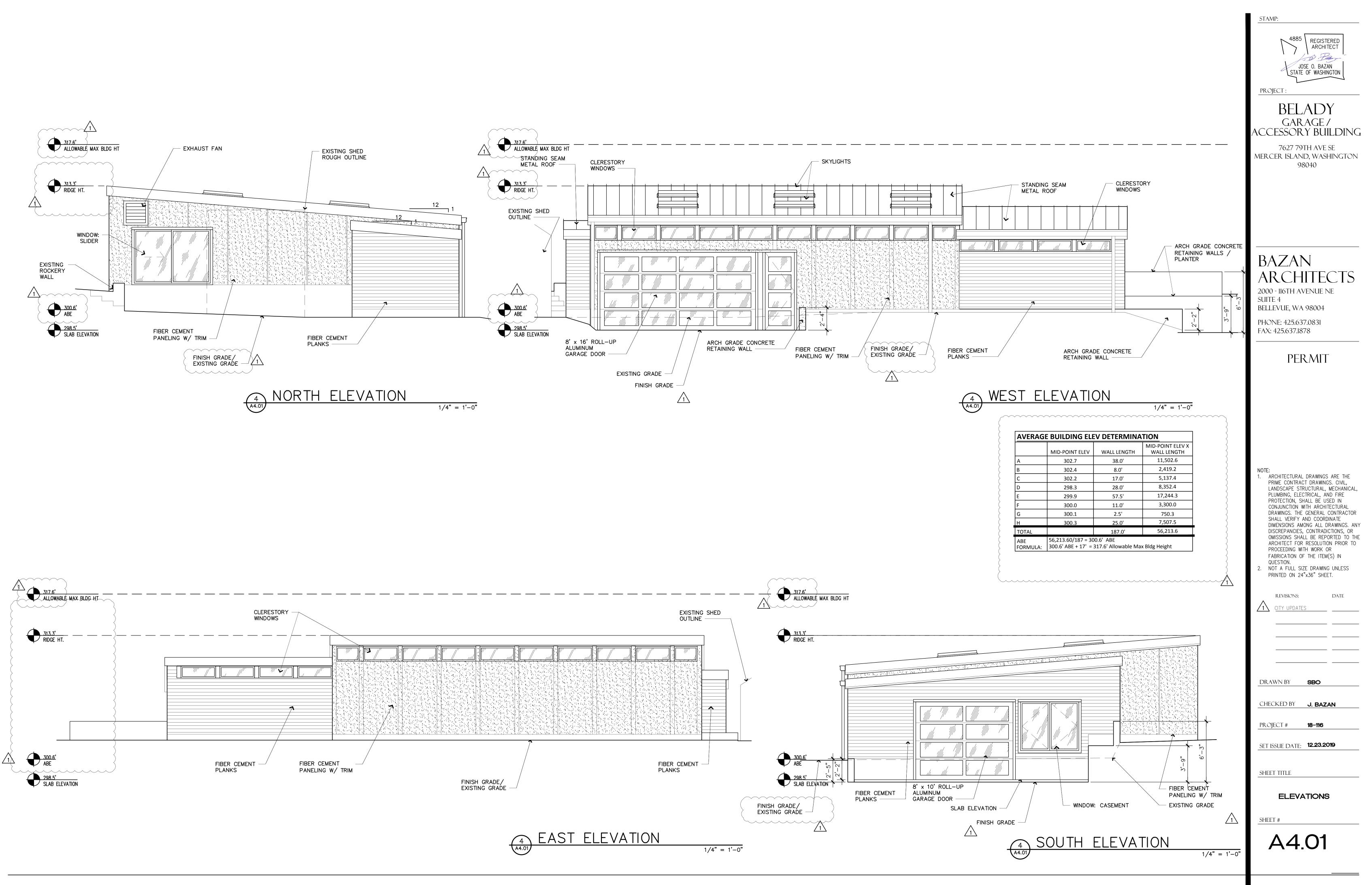


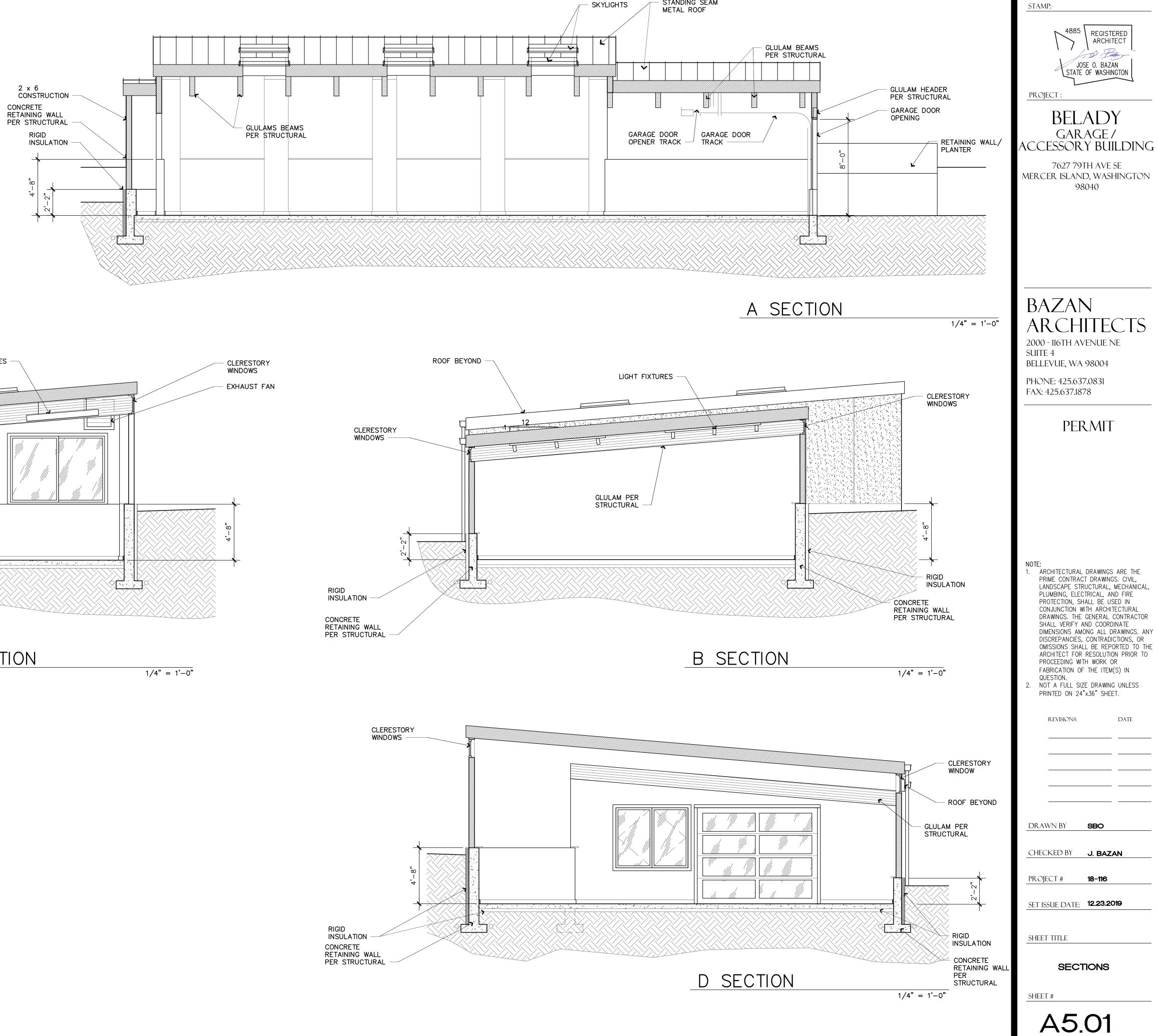


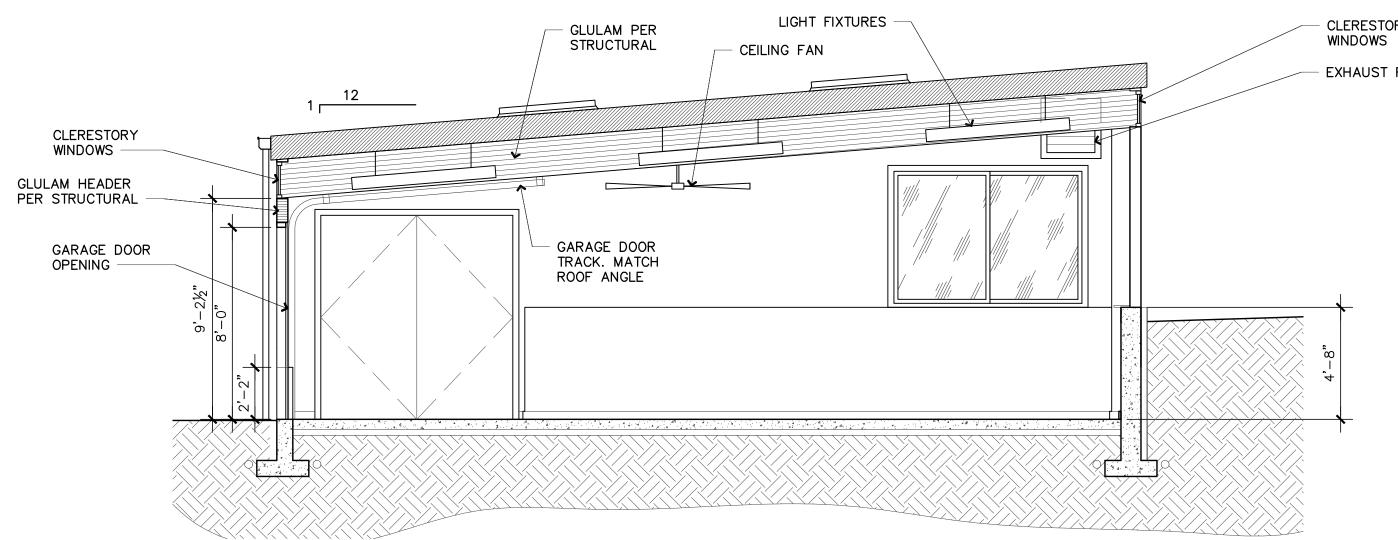




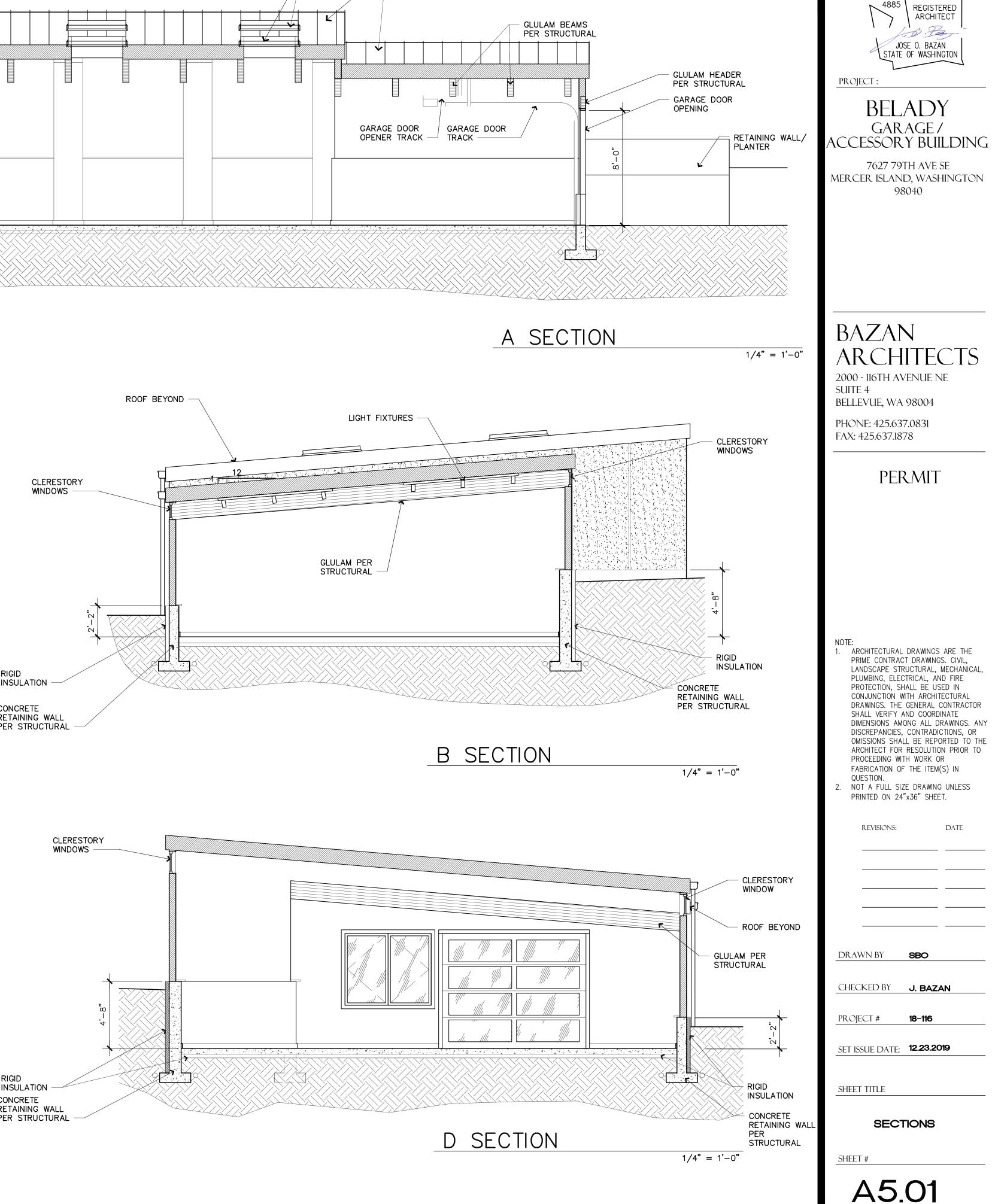


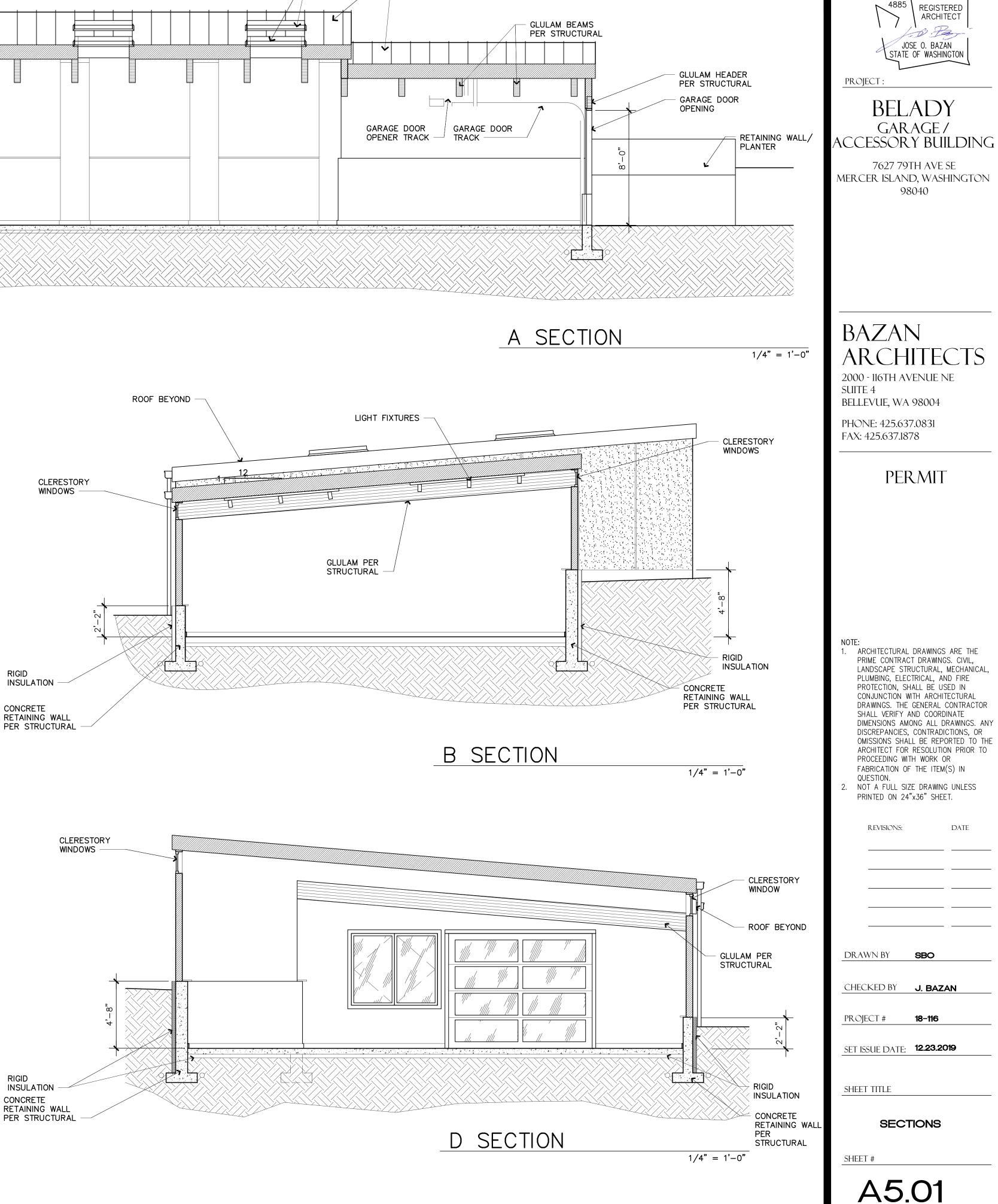


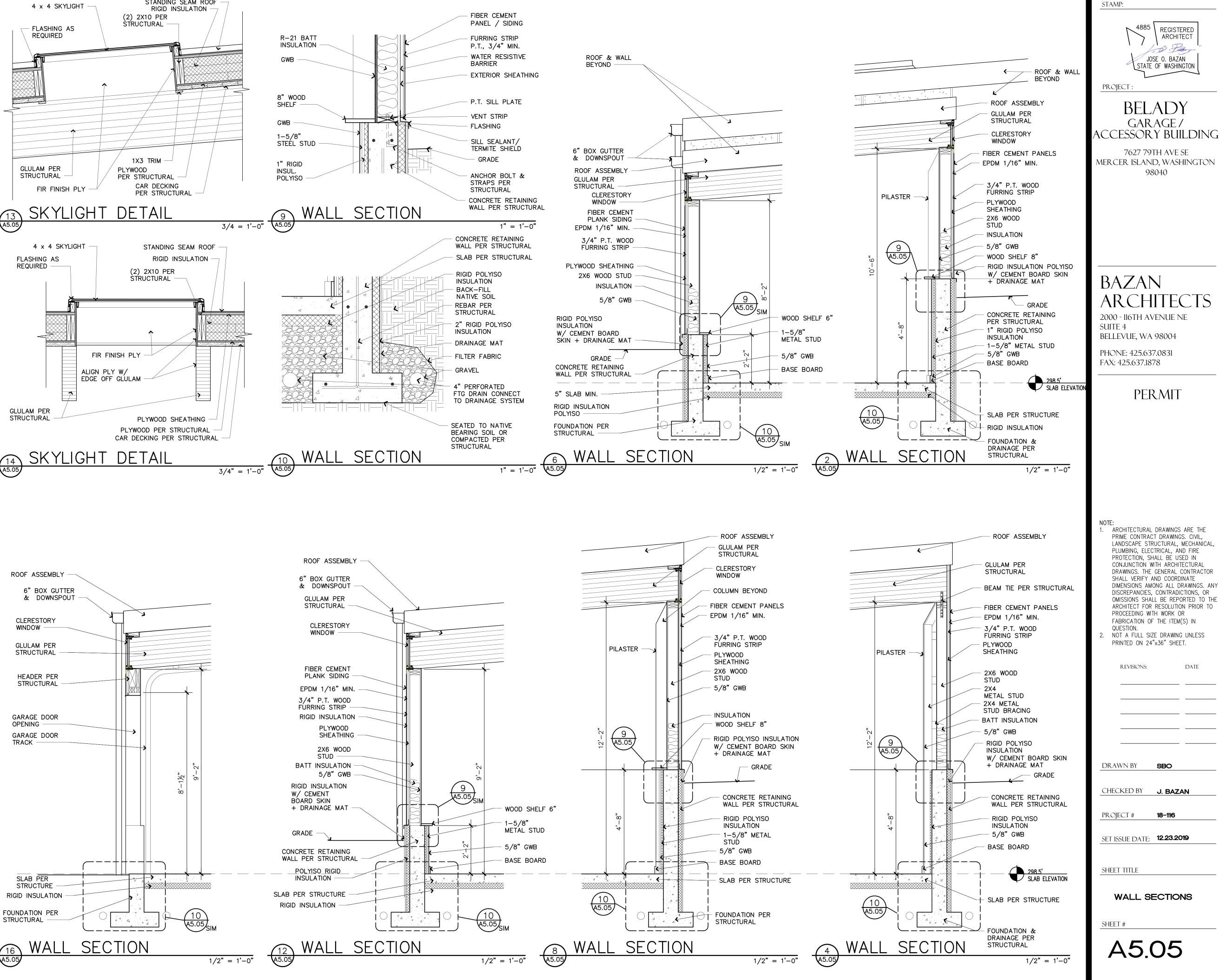


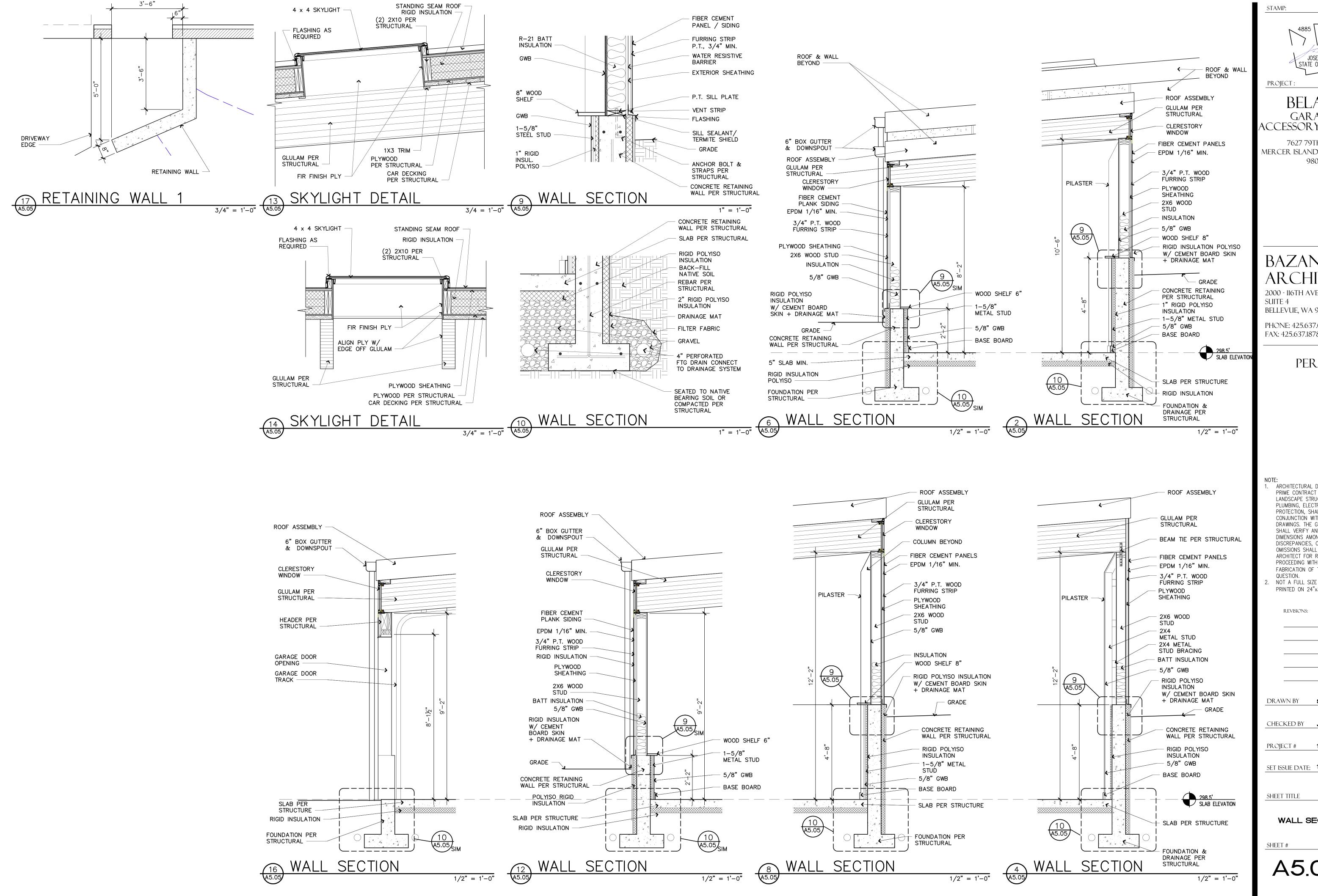


C SECTION









ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CIVIL. PLUMBING, ELECTRICAL, AND FIRE PROTECTION, SHALL BE USED IN

LANDSCAPE STRUCTURAL, MECHANICAL, CONJUNCTION WITH ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN

NOT A FULL SIZE DRAWING UNLESS

DATE

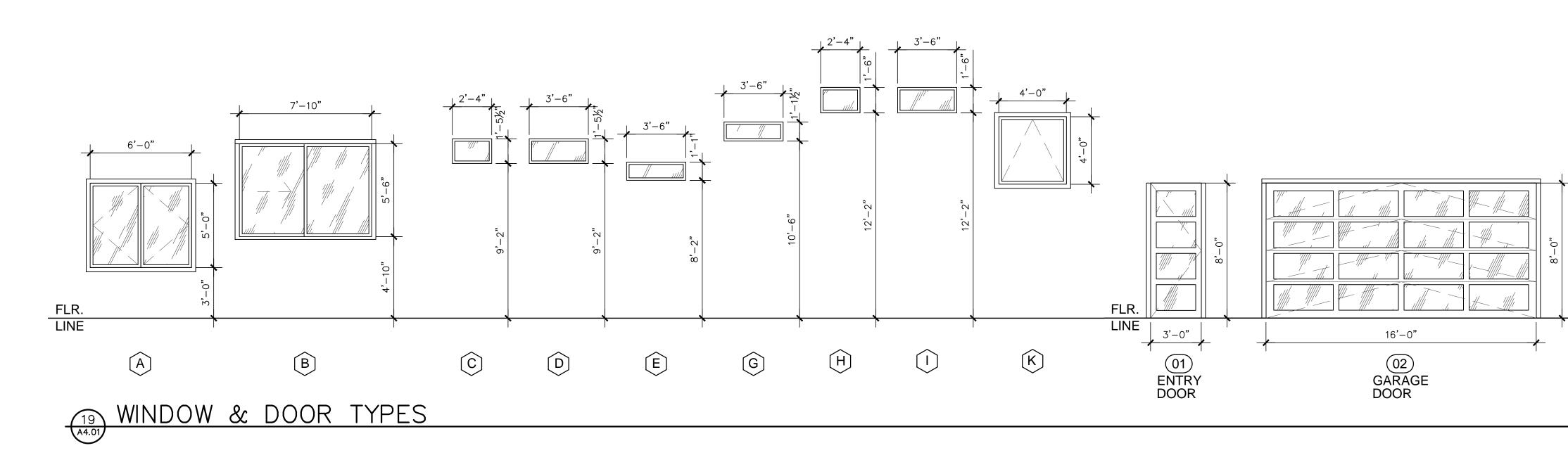
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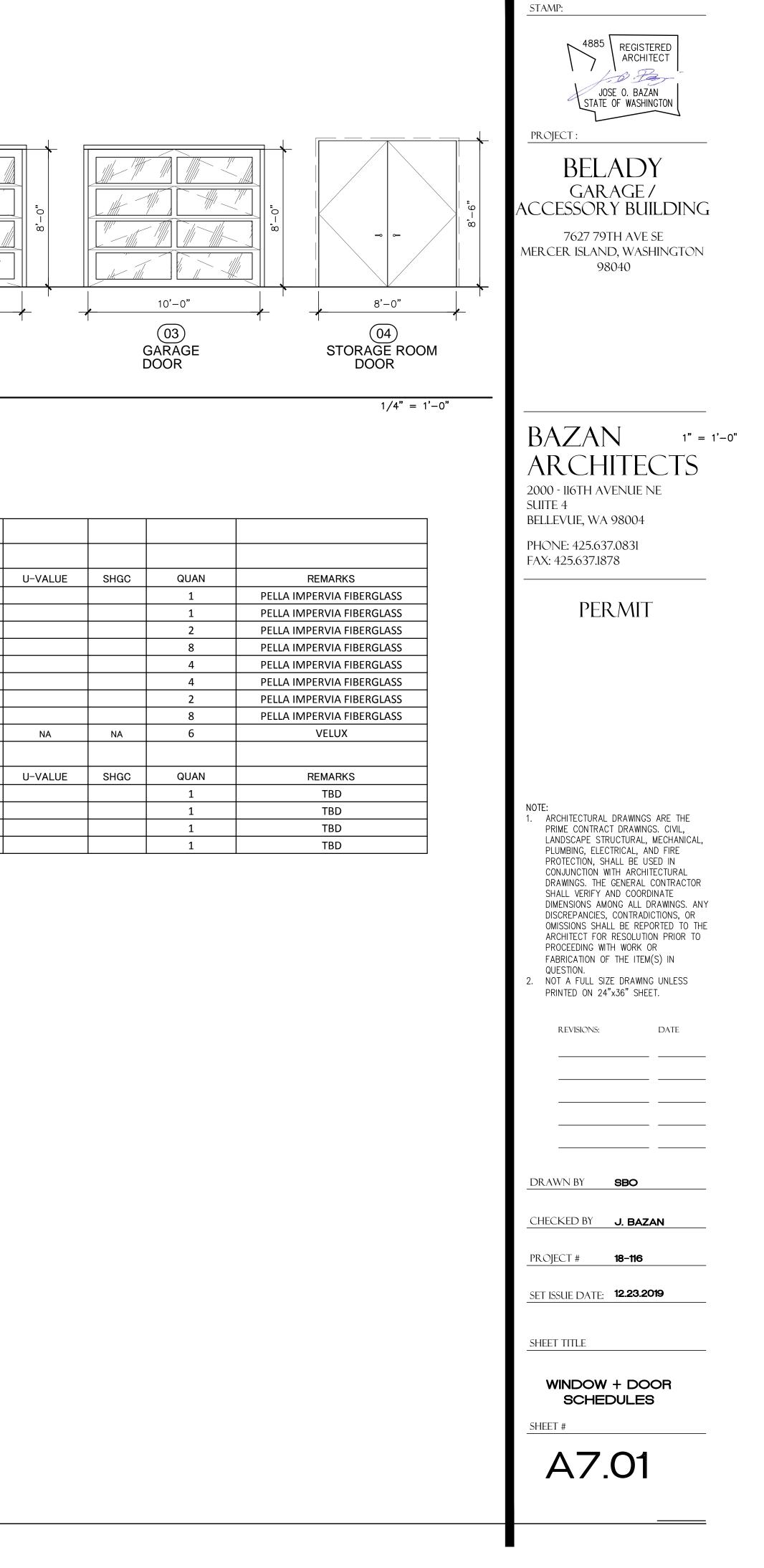
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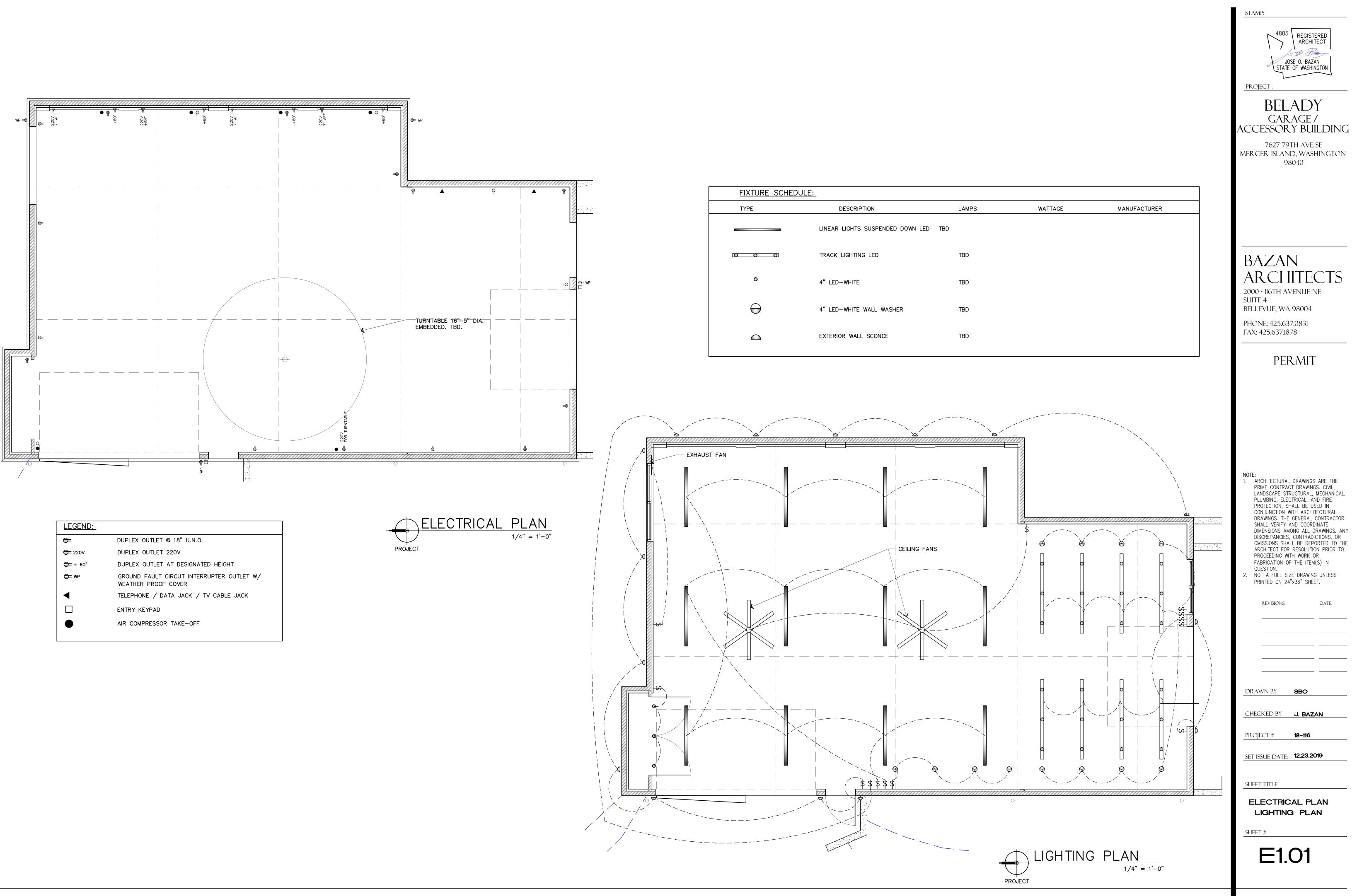
SET ISSUE DATE: **12.23.2019** 

WALL SECTIONS

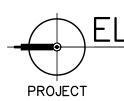


	_			WINDOW SCHEDULE			_		
	REQUIRE		WINDOW		SAFTY		FIRE		
SYMBOL	EGRESS	WIDTH	HEIGHT	TYPE	GLASS	FRAME	RATING	SQ. FT.	U-VALU
А	NO	6'-0″	5'-0″	CASEMENT	NO	THERMAL STEEL	NR	24.9	
В	NO	7'-10″	5'-6″	SLIDER	NO	THERMAL STEEL	NR	37.9	
С	NO	2'-4″	1'-5 1/2″	FIXED	NO	THERMAL STEEL	NR	2.4	
D	NO	3'-6″	1'-5 1/2″	FIXED	NO	THERMAL STEEL	NR	3.7	
E	NO	3'-6″	1'-1″	FIXED	NO	THERMAL STEEL	NR	2.5	
G	NO	3'-6″	1' 1 1/2″	FIXED	NO	THERMAL STEEL	NR	2.7	
н	NO	2'-4″	1'-6″	FIXED	NO	THERMAL STEEL	NR	2.5	
I	NO	3'-6″	1'-6″	FIXED	NO	THERMAL STEEL	NR	3.9	
к	NO	4'-0″	4'-0″	SKYLIGHT-FIXED	NO	WOOD CURB	NR	13.4	NA
				DOOR SCHEDULE					
MARK	ROOM NAME	SIZE: WIDTH	SIZE: HEIGHT	TYPE	CORE	MATERIAL	FRAME	SQ. FT.	U-VALL
01	GARAGE	6'-0″	8'-0″	SWIING	INSUL	GLASS	AL		
02	GARAGE	16'-0″	8'-0″	OVERHEAD	INSUL	GLASS	AL		
03	GARAGE	8'-0″	8'-0″	OVERHEAD	INSUL	GLASS	AL		
04	STORAGE	8'-0″	8'-6″	SWING	WOOD	WOOD	WOOD		





LEGEND:	
<b>e</b> =	DUPLEX OUTLET @ 18" U.N.O.
€= 220∨	DUPLEX OUTLET 220V
<b>⊖</b> + 60"	DUPLEX OUTLET AT DESIGNATED HEIGHT
€= WP	GROUND FAULT CIRCUT INTERRUPTER OUTLET W/ WEATHER PROOF COVER
▲	TELEPHONE / DATA JACK / TV CABLE JACK
	ENTRY KEYPAD
	AIR COMPRESSOR TAKE-OFF



		REQUIRE	D? (Y/N)	MATERIAL / ACTIVITY
	2015	Y	Ν	<b>1704.2.5 Inspection of Fabricators</b> Verify fabrication/quality control procedures
CODE: INTERNATIONAL BUILDING CODE (IBC)	2015	Y	Ν	<b>1705.1.1 Special Cases</b> (work unusual in nature, inclu and systems, unusual design applications, materials a
LOADINGS FLOOR LIVE LOAD	40 PSF			requirements)
DECK LIVE LOAD ROOF SNOW LOAD	60 PSF			
	25 PSF	Y	N	<b>1705.2 Steel Construction</b> 1. Fabricator and erector documents (Verify reports ar
WIND CRITERIA BUILDING CLASSIFICATION	П	Y	Ν	paragraph 3.2 for compliance with construction docum 2. Material verification of structural steel
ULTIMATE WIND SPEED	110 MPH	Y	Ν	3. Embedments (Verify diameter, grade, type, length,
WIND EXPOSURE TOPOGRAPHIC FACTOR, Kzt	B 1.6	Y	Ν	<ol> <li>Verify member locations, braces, stiffeners, and app comply with construction documents</li> </ol>
SEISMIC CRITERIA		Y	N	5. Structural steel welding:
SEISMIC RISK CATEGORY	ll 1.47		IN	a. Inspection tasks Prior to Welding (Observe, or perfo tasks listed in AISC 360, Table N5.4-1)
SPECTRAL RESPONSE COEFFICIENT, Ss SPECTRAL RESPONSE COEFFICIENT, S1	0.56	Y	Ν	<ul> <li>b. Inspection tasks During Welding (Observe, or perfo tasks listed in AISC 360, Table N5.4-1)</li> </ul>
SEISMIC SITE CLASS SEISMIC DESIGN CATEGORY	D D	Y	Ν	c. Inspection tasks After Welding (Observe, or perform
	D			tasks listed in AISC 360, Table N5.4-3) d. Nondestructive testing (NDT) of welded joints: see (
STRUCTURAL SYSTEM		Y Y	N N	<ol> <li>Complete penetration groove welds 5/16" or greater</li> <li>Complete penetration groove welds 5/16" or greater</li> </ol>
ONE STORY WOOD FRAMED GARAGE		Y	Ν	3) Thermally cut surfaces of access holes when mater
ONE STORT WOOD TRAMED GARAGE		Y Y	N N	<ul> <li>4) Welded joints subject to fatigue when required by A</li> <li>5) Fabricator's NDT reports when fabricator performs I</li> </ul>
GENERAL CONDITIONS		Y	N	<ol> <li>Structural steel bolting:</li> <li>a. Inspection tasks Prior to Bolting (Observe, or perfor</li> </ol>
				accordance with QA tasks listed in AISC 360, Table N
1. THE CONTRACTOR SHALL EXAMINE THE STRUCT STRUCTURAL ENGINEER IN WRITING OF ANY DISCREPAN		Y	Ν	<ul> <li>b.Inspection tasks During Bolting (Observe the QA tas</li> <li>1) Pre-tensioned and slip-critical joints</li> </ul>
WITH THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMEN	NSIONS ELEVATIONS AND SITE	Y	N	a) Turn-of-nut with matching markings
CONDITIONS BEFORE STARTING WORK.	SIGNS, ELEVATIONS AND SITE	Y Y	N N	<ul> <li>b) Direct tension indicator</li> <li>c) Twist-off type tension control bolt</li> </ul>
2. ALL OMISSIONS OR CONFLICTS BETWEEN THE V	ARIOUS FI EMENTS OF THE WORKING	Y Y	N N	<ul> <li>d) Turn-of-nut without matching markings</li> <li>e) Calibrated wrench</li> </ul>
DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF 1	THE ARCHITECT AND THE STRUCTURAL			2) Snug-tight joints
ENGINEER BEFORE PROCEEDING WITH ANY WORK SO IN	IVOLVED.	Y	Ν	<ul> <li>c. Inspection tasks After Bolting (Perform tasks for eac tasks listed in AISC 360, Table N5.6-3)</li> </ul>
3. SPECIFIC NOTES AND DETAILS SHALL TAKE PREC TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND		Y	Ν	7. Inspection of steel elements of composite construct
STRINGENT REQUIREMENT SHALL APPLY.	TOR SPECIFICATIONS DIFFER, THE MORE			with QA tasks listed in AISC 360, Table N6.1
4. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PA	ART OF THE WORK. THE CONSTRUCTION			1705.2.2 Steel Construction Other Than Structural S 1. Material verification of cold-formed steel deck:
SHALL BE THE SAME AS FOR SIMILAR WORK.		Y	N	a. Identification markings
5. WORKING DIMENSIONS SHALL NOT BE SCALED F	ROM PLANS, SECTIONS, OR DETAILS ON	Y	Ν	<ul> <li>b. Manufacturer's certified test reports</li> <li>2. Connection of cold-formed steel deck to supporting</li> </ul>
THESE DRAWINGS.		Y Y	N N	a. Welding b. Other fasteners (in accordance with AISC 360,Sec
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY		Y	Ν	1) Verify fasteners are in conformance with approved s
ENGINEER OF ANY CONDITION THAT, IN HIS OPINION, MIC STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.	GHT ENDANGER THE STABILITY OF THE	Y	Ν	<ol> <li>Verify fastener installation is in conformance with ap recommendations</li> </ol>
				3. Reinforcing steel
7. THE CONTRACTOR SHALL SUPERVISE AND DIREC RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, 7	FECHNIQUES, SEQUENCES AND	Y Y	N N	<ul> <li>a. Verification of weldability of steel other than ASTM /</li> <li>b. Reinforcing steel resisting flexural and axial forces i</li> </ul>
PROCEDURES. PROVIDE ADEQUATE SHORING AND BRAU DURING CONSTRUCTION. NOTIFY ENGINEER OF ALL FIEI		Y	N	boundary elements of special concrete structural walls c. Shear reinforcement
		Y	N N	d. Other reinforcing steel
8. REFER TO THE ARCHITECTURAL DRAWINGS FOR GENERAL NOTES OR THE STRUCTURAL DRAWINGS.	INFORMATION NOT COVERED BY THESE	Y	N	<ol> <li>Cold-formed steel trusses spanning 60 feet or great</li> <li>Verify temporary and permanent restraint/bracing and</li> </ol>
9. ALL CONSTRUCTION SHALL BE DONE WITH MATE	RIALS METHODS AND WORKMANSHIP			truss submittal package
ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION	INDUSTRY AND IN CONFORMANCE WITH			1705.3 Concrete Construction
THE PROVISIONS OF PREVAILING CODE EDITION OF THE STANDARDS REFERENCED THEREIN.	"INTERNATIONAL BUILDING CODE" (IBC) AND	Y Y	N N	<ol> <li>Inspection of reinforcing steel installation (see 1705</li> <li>Inspection of prestressing steel installation</li> </ol>
10. PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, O		Ŷ	N	3. Inspection of anchors cast in concrete where allowa
PLACED IN SLABS, FOUNDATIONS, ETC., NOR SHALL ANY	STRUCTURAL MEMBER BE CUT FOR SUCH	Y	N	1908.5 or where strength design is used 4. Inspection of anchors and reinforcing steel post-inst
ITEMS, UNLESS SPECIFICALLY DETAILED ON THESE STRU	JCTURAL DRAWINGS.			reports including verification of anchor type, anchor din procedures, anchor spacing, edge distances, concrete
11. ALTERNATE ASSEMBLIES AND MATERIALS WILL E	BE CONSIDERED FOR REVIEW. ENGINEER			and tightening torque
MAY REQUEST PAYMENT FOR REVIEW.		Y Y	N N	<ol> <li>Verify use of approved design mix</li> <li>Fresh concrete sampling, perform slump and air con</li> </ol>
FOUNDATION		V		concrete 7. Inspection of concrete and shotcrete placement for
1. STRUCTURAL DESIGN COMPLIES WITH SOILS RE	PORT PRODUCED BY:	Y Y	N N	8. Inspection for maintenance of specified curing temp
N.A.		Y	N	<ul><li>9. Inspection of prestressed concrete:</li><li>a. Application of prestressing force</li></ul>
FOOTING BEARING PRESSURE:	1500 PSF (ASSUMED)	Ŷ	N	b. Grouting of bonded prestressing tendons in the sei
LATERAL EARTH PRESSURE ON RETAINING WALL	_s N.A.	Y	N	<ul><li>10. Erection of precast concrete members</li><li>a. Inspect in accordance with construction documents</li></ul>
2. SUBGRADE PREPARATION, DRAINAGE PROVISIO	NS AND OTHER RELEVANT SOIL	Y Y	N N	<ul> <li>b. Perform inspections of welding and bolting in accord 11. Verification of in-situ concrete strength, prior to strength</li> </ul>
CONSIDERATIONS ARE TO BE IN ACCORDANCE V		-		and prior to removal of shores and forms from beams
		Y Y	N N	<ol> <li>Inspection of formwork for shape, lines, location ar</li> <li>Concrete strength testing and verification of comp</li> </ol>
				Notes:
				<ol> <li>The inspection and testing agent(s) shall be engage by the Contractor or Subcontractor whose work is to b</li> </ol>
				must be disclosed to the Building Official prior to comr Special Inspector(s) and/or testing agencies may be s
DIMENSIONAL LUMBER, ANCHOR BOLT AND NAILING SPE	CIFICATIONS			and/or the Design Professional.
1. MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GR/	ADING RULES FOR SOFTWOOD			2. The list of Special Inspectors may be submitted as a
DIMENSIONAL LUMBER. BEAR STAMP OF WWPA.				3. Special Insepctions as required by Section 1704.2.5
2. MINIMUM DIMENSIONAL LUMBER GRADES TO BE:				approved in accordance with IBC Section 1704.2.5.2
WALL STUDS, 2X, 3 X HF STUD GRADE WALL PLATES, 2X, 3X HF STANDARD GI	RADE U.N.O			4. Observe on a random basis, operations need not be these tasks for each welded joint, bolted connection, o
JOISTS, 2 X 6: HF #2 JOISTS, 2 X 8 AND UP DF #2				5. NDT of welds completed in an approved fabricator's
BEAMS, HEADERS, 6X DF #2				when approved by the AHJ. Refer to AISC 360, N7.
BEAMS, HEADERS, 4X DF #2, WWPA GR. POSTS, 4X, 6X DF #2 U.N.O				
LUMBER NOT NOTED HERE DF #2 U.N.O				
3. PROVIDE STANDARD CUT WASHERS FOR BOLT HEADS	AND NUTS BEARING AGAINST WOOD.			
4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MAS		CONCRE	te and re	EINFORCING
RESTING ON FOUNDATIONS SHALL BE PRESSURE-TREAT ACCORDANCE TO WITH AWPA U1 (PLANT/SHOP TREATME				SHALL CONFORM TO THE INDICATED REFERENCE
STANDARDS. ALL BEARING WALL PLATES SHALL HAVE 5		E	ACENT AS	MODIFIED BELOW:

MAXIMUM OF 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" OC SPACING). PROVIDE BP PLATE WASHER AT ALL FOUNDATION SILL PLATE ANCHOR BOLTS. PROVIDE TWO ANCHOR BOLTS MINIMUM PER SECTION OF SILL. FOR NON-SHEARWALL, PLACE ANCHORS AT 48".

5. BOLTS IN WOOD SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.

6. NAILS: COMMON WIRE NAILS. NAILING IN ACCORDANCE WITH IBC TABLE 2304.9.1.

7. PRESSURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 OZ OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED HANGERS)

8. ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED "SURFACE-DRY" AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NO MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED "SURFACE-GREEN" AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

9. NOTCHING AND BORING OF BEAMS AND JOISTS IS NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

3. PROVIDE GRADE 60 KSI (A615) FOR CONCRETE STEEL REINFORCING

N.A.

ACI-305R - "HOT WEATHER CONCRETING"

CONCRETE MIX SPECIFICATIONS

LOCATION

FOOTING

TOPPING

а.

2.

ACI-306R - "COLD WEATHER CONCRETING"

	EXTENT	REQUIRE	D? (Y/N)	MATERIAL / ACTIVITY
	Periodic			<b>1705.4 Masonry Construction</b> (A) Level A, B and C Quality Assurance:
cluding but not limited to alternative materials		Y	Ν	1. Verify compliance with approved submittals (B) Level B Quality Assurance:
s and systems with special manufacturer's		Y	Ν	1. Verification of f'm and f'AAC prior to construction (C) Level C Quality Assurance:
		Y Y	N N	<ol> <li>Verification of f'm and f'AAC prior to construction and for every 5,000 SF during construction</li> <li>Verification of proportions of materials in premixed or preblended mortar, prestressing grout, and</li> </ol>
and certificates as listed in AISC 360, chapter N,	Each submittal	Ý	N	grout other than self-consolidating grout, as delivered to the project site 3. Verify placement of masonry units
uments)	Periodic	Y	N	(D) Levels B and C Quality Assurance: 1. Verification of Slump Flow and Visual Stability Index (VSI) of self-consolidating grout as delivered
h, embedment. See 1705.3 for anchors) application of joint details at each connection	Continuous Periodic	Y	N	to the project 2. Verify compliance with approved submittals
		Y Y	N N	<ol> <li>Verify proportions of site-mixed mortar, grout and prestressing grout for bonded tendons</li> <li>Verify grade, type, and size of reinforcement and anchor bolts, and prestressing tendons and</li> </ol>
erform for each welded joint or member, the QA	Observe or Perform as noted (4)	Ŷ	N	anchorages 5. Verify construction of mortar joints
rform for each welded joint or member, the QA	Observe (4)	Ŷ	N	6. Verify placement of reinforcement, connectors, and prestressing tendons and anchorages
orm for each welded joint or member, the QA	Observe or Perform as noted (4)	Y	Ν	7. Verify grout space prior to grouting
e Commentary ater in risk category III or IV	Periodic	Y Y	N N	<ol> <li>Verify placement of grout and prestressing grout for bonded tendons</li> <li>Verify size and location of structural masonry elements</li> </ol>
ater in risk category II terial t > 2"	Periodic Periodic	Ŷ	N	10. Verify type, size, and location of anchors, including details of anchorage of masonry to structural members, frames, or other construction.
y AISC 360, Appendix 3, Table A-3.1 Is NDT	Periodic Each submittal (5)	Y Y	N N	<ol> <li>Verify welding of reinforcement (see 1705.2.2)</li> <li>Verify preparation, construction, and protestion of masonry during cold weather (temperature</li> </ol>
form tasks for each bolted connection, in	Observe or Perform as noted (4)	Ŷ	N	below 40oF) or hot weather (temperature above 90oF) 13. Verify application and measurement of prestressing force
e N5.6-1) tasks listed in AISC 360, Table N5.6-2)	Observe (4)	Ý	N	14. Verify placement of AAC masonry units and construction of thin-bed mortar joints (first 5000 SF of AAC masonry)
	Periodic	Y	Ν	15. Verify placement of AAC masonry units and construction of thin-bed mortar joints (after the first 5000 SF of AAC masonry)
	Periodic Periodic	Y Y	N N	16. Verify properties of thin-bed mortar for AAC masonry (first 5000 SF of AAC masonry) 17. Verify properties of thin-bed mortar for AAC masonry (after the first 5000 SF of AAC masonry)
	Continuous Continuous	Ý	N	18. Prepare grout and mortar specimens
each bolted connection in accordance with QA	Periodic Perform (4)	Ŷ	N	19. Observe preparation of prisms
uction prior to concrete placement in accordance	Observe or Perform as noted (4)			1705.5 Wood Construction
		Y	Ν	1. Inspection of the fabrication process of wood structural elements and assemblies in accordance with Section 1704.2.5
I Steel		Y	Ν	2. For high-load diaphragms, verify grade and thickness of structural panel sheathing agree with approved building plans
	Periodic Each submittal	Y	Ν	3. For high-load diaphragms, verify nominal size of framing members at adjoining panel edges, nail or staple diameter and length, number of fastener lines, and that spacing between fasteners in each
ng structure:	Periodic	Y	N	line and at edge margins agree with approved building plans 4. Metal-plate-connected wood trusses spanning 60 feet or greater: verify temporary and permanent
ection N6) ed submittal	Periodic			restraint/bracing are installed in accordance with the approved truss submittal package
approved submittal and manufacturer's	Periodic			<b>1705.6 Soils</b> 1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.
M A706	Periodic	Y Y	N N	<ol> <li>Verify excavations are extended to proper depth and have reached proper material.</li> <li>Perform classification and testing of controlled fill materials.</li> </ol>
es in intermediate and special moment frames, alls and shear reinforcement	Continuous	Y Y	N N	4. Verify use of proper materials, densities, and lift thicknesses during placement and compaction of controlled fill
	Continuous Periodic	Y	N	5. Prior to placement of controlled fill, observe subgrade and verify that site has been prepared properly
eater are installed in accordance with the approved	Periodic			1705.7 Driven Deep Foundations
,		Y Y	N N	<ol> <li>Verify element materials, sizes and lengths comply with requirements</li> <li>Determine capacities of test elements and conduct additional load tests, as required</li> </ol>
05.2.2 for welding)	Periodic.	Y Y	N N	<ol> <li>Observe driving operations and maintain complete and accurate records for each element</li> <li>Verify placement locations and plumbness, confirm type and size of hammer, record number of</li> </ol>
wable loads have been increased per section	Periodic Continuous			blows per foot of penetration, determine required penetrations to achieve design capacity, record tip and butt elevations and document any damage to foundation element
nstalled in hardened concrete: Per research	Periodic or as required by the research report issued by an	Y Y	N N	5. For steel elements, perform additional inspections per Section 1705.2 6. For concrete elements and concrete-filled elements, perform additional inspections per Section
dimensions, hole dimensions, hole cleaning ete minimum thickness, anchor embedment	approved source	Y	N	1705.3 7. For specialty elements, perform additional inspections as determined by the registered design
	Periodic	Y	N	professional in responsible charge 8. Perform additional inspections and tests in accordance with the construction documents
content tests and determine temperature of	Continuous			1705.8 Cast-in-Place Deep Foundations
or proper application techniques mperature and techniques	Continuous Periodic	Y Y	N N	<ol> <li>Observe drilling operations and maintain complete and accurate records for each element</li> <li>Verify placement locations and plumbness, confirm element diameters, bell diameters (if</li> </ol>
	Continuous			applicable), lengths, embedment into bedrock (if applicable) and adequate end-bearing strata capacity. Record concrete or grout volumes
seismic-force-resisting system	Continuous	Y Y	N N	<ol> <li>For concrete elements, perform additional inspections in accordance with Section 1705.3</li> <li>Perform additional inspections and tests in accordance with the construction documents</li> </ol>
nts ordance with Section 1705.2	In accordance with construction documents In accordance with Section 1705.2			1705.9 Helical Pile Foundations
stressing of tendons in post tensioned concrete ns and structural slabs	Periodic	Y	Ν	<ol> <li>Verify installation equipment, pile dimensions, tip elevations, final depth, final installation torque and other data as required.</li> </ol>
and dimensions mpliance with construction documents	Periodic Periodic	Y	Ν	2. Perform additional inspections and tests in accordance with the construction documents
		Y	N	1705.10.1 Structural Wood Special Inspections For Wind Resistance 1. Inspection of field gluing operations of elements of the main windforce-resisting system
aged by the Owner or the Owner's Agent, and not		Y	N	<ol><li>Inspection of nailing, bolting, anchoring and other fastening of components within the main windforce-resisting system</li></ol>
be inspected or tested. Any conflict of interest mmencing work. The qualifications of the		X		1705.10.2 Cold-formed Steel Special Inspections For Wind Resistance
e subject to the approval of the Building Official		Y Y	N N	1.Inspection during welding operations of elements of the main windforce-resisting system 2.Inspections for screw attachment, bolting, anchoring and other fastening of components within the
as a separate document, if noted so above.				main windforce-resisting system
2.5 are not required where the fabricator is		Y	N	1705.10.3 Wind-resisting Components 1. Roof cladding
Z		Y Y	N	2. Wall cladding
t be delayed pending these inspections. Perform n, or steel element.		Ŷ	N	1705.11.1 Structural Steel Special Inspections for Seismic Resistance Inspection of structural steel in accordance with AISC 341
or's shop may be performed by that fabricator		Y Y	N N	<b>1705.11.2 Structural Wood Special Inspections for Seismic Resistance</b> 1. Inspection of field gluing operations of elements of the seismic-force resisting system 2. Inspection of nailing, bolting, anchoring and other fastening of components within the seismic- force-resisting system
				1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections for Seismic
		Y	N	<b>Resistance</b> 1. Inspection during welding operations of elements of the seismic-force-resisting system
CE CODES AND STANDARDS		Y	N	2. Inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system

ACI-301 - "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE"

ACI-318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"

ACI-304 - "GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE"

COMP. SRENGTH W/C RATIO AIR CONTENT REMARK

2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE)

SLAB ON GRADE 2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE) FOUNDATION WALL 2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE)

TOTAL AIR CONTENT IS SPECIFIED IN THE TABLE ABOVE. AIR CONTENT TOLERANCE SHALL BE ± 1% AND SHALL BE MEASURED AT THE POINT OF PLACEMENT. (AFTER PUMPING IF APPLICABLE). ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN APPROVED ADMIXTURE TO ENTRAIN AIR - 5% TOTAL AIR REQUIRED. CONCRETE THAT CAN BE SUBJECTED TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR ENTRAINED.

STRUCTURAL AND MISCELLANEOUS STEEL

STEEL MEMBERS, HARDWARE, FASTENERS SHALL BE HOT DIPPED GALVANIZED OR EPOXY PAINTED PER ARCHITECT REQUIREMENTS. ALL CUT, REPAIRED AND EXPOSED SURFACE SHALL BE PAINTED WITH (2) COAT OF 95% ZINC RICH PAINT PER ASTM A780. COLOR TO MATCH EXISTING.

STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS: ASTM A500, GRADE B (Fy = 46 KSI) TUBE COLUMNS: WIDE FLANGE COLUMNS / BEANASTM 572 GR50 SCHEDULE 40, CONFORMING TO ASTM A53, TYPE E OR S, GRADE B (Fy = 35 KSI.) ASTM A36 (Fy = 36 KSI) OR ASTM A992 STEEL PIPE: ALL OTHER STEEL: ASTM A307 (WOOD/STEEL CONN) BOLTS: ASTM A325/À490 WITH LOCK WASHERS (STEEL/STEEL AND STEEL/CONC CONN) BOLTS: ANCHOR BOLTS: ASTM A307 (WOOD FRAMING) ASTM A325 (STEEL FRAMING) ANCHOR BOLTS:

ALL SLIP CRITICAL CONNECTIONS SHALL BE ASTM A325 BOLTS AND SHALL BE ENGINEER-APPROVED, SELF-LOAD INDICATING TYPES, AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

STRUCTURAL STEEL WELDING CONFORM TO THE AWS CODES D1.1 AND D1.3, AND USE ONLY CERTIFIED WELDERS. WELDS NOT SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. USE DRY E70 ELECTRODES. ALL WELDING SHALL CONFORM TO THE AWS CODES, AND SHALL BE BY CERTIFIED WELDERS. WELDS NOT SPECIFIED SHALL BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

	EXTENT	b2 structural engineers
	Periodic	info@b2engineers.com
	Periodic	425-318-7047 (O) 425-318-0031 (C)
d	Periodic Continuous	423-310-0031 (0)
	Periodic	
ed	Continuous	
	Periodic Periodic Periodic	
al	Periodic Level B - Periodic Level C - Continuous Level B - Periodic Level C - Continuous Continuous Periodic Level B - Periodic Level B - Periodic Level C - Continuous Continuous	
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of	Periodic Continuous	
	Periodic	
	Continuous Continuous Continuous Continuous	
ip	Commuous	
	See Section 1705.2 See Section 1705.3	7627 79TH AVE SE,
	In accordance with construction documents	MERCER ISLAND, WA
	In accordance with construction documents	98040
	Continuous Continuous	
	See Section 1705.3 In accordance with construction documents	

Periodic Periodic

Continuous

Continuous

Periodic

Periodic

Periodic

Periodic Periodic

Continuous

Periodic

In accordance with AISC 341

In accordance with construction documents

DRAWING LIST	
SHEET NAME	ISSUE DATE
GENERAL NOTES AND SPECIFICATIONS	01-18-20
FRAMING PLAN	01-18-20
FRAMING PLAN	01-18-20
FRAMING DETAILS	01-18-20
FRAMING DETAILS	01-18-20
	SHEET NAME GENERAL NOTES AND SPECIFICATIONS FRAMING PLAN FRAMING PLAN FRAMING DETAILS

Grand total: 5

DRAWING INFO

ISSUE DATE 01-18-20

ISSUED FOR PERMIT

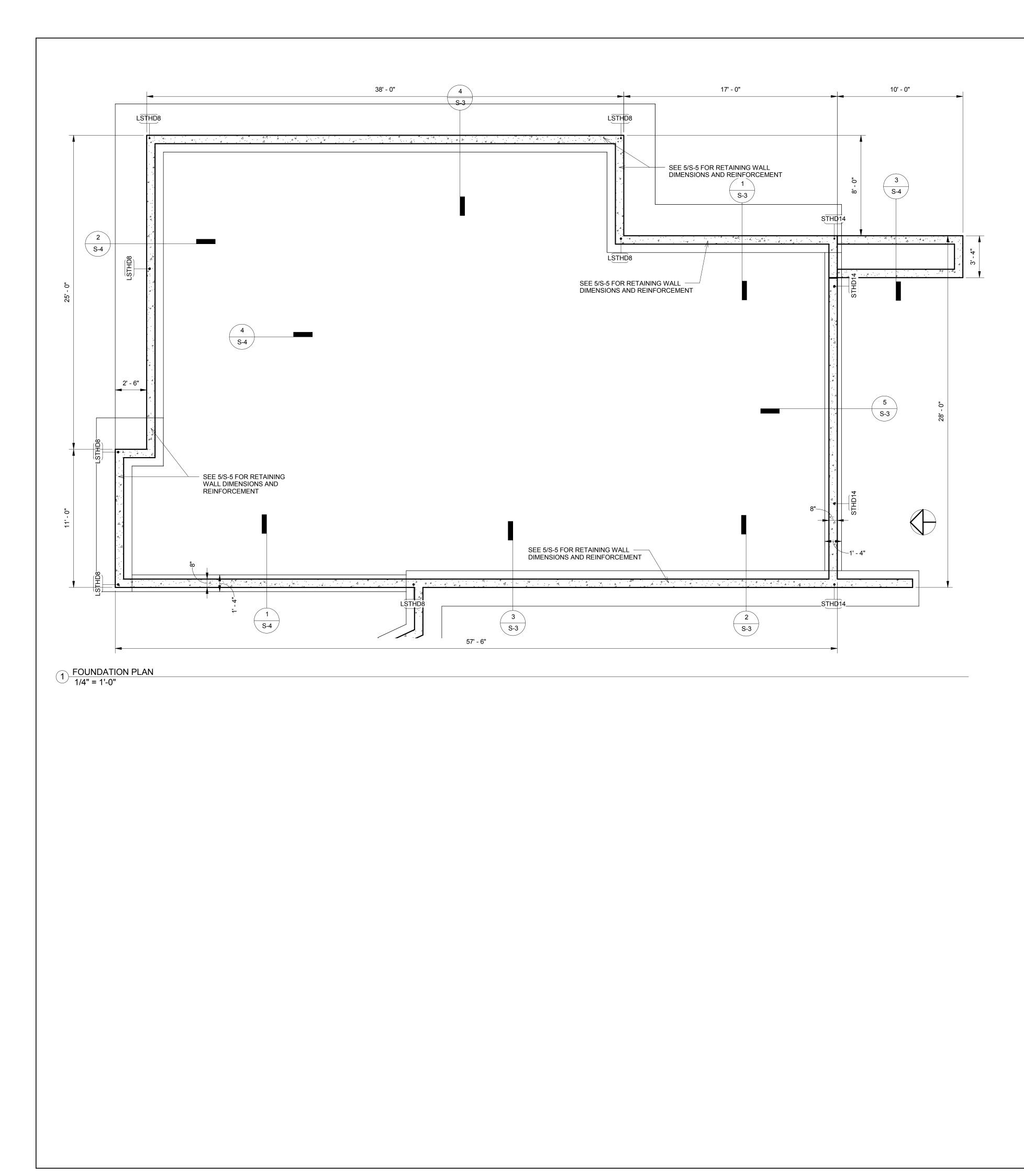
PROJECT NO. 19207

ENGINEER BB

REVISION SCHEDULE NO. DATE DESCRIPTION

### GENERAL NOTES AND SPECIFICATIONS **S-0**

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### C LEGEND AND NOTES 1/4" = 1'-0"

FLOOR/DI ** MAXIMU 4. FLOOR	ECK TOTAL LOAD = L/480 ECK LIVE LOAD = L/600 JM TOTAL LOAD DEFLECTION S (ROOF FRAMING LAYOUT AND LIERS) MUST BE SUBMITTED FO JCTION	CONNECT	ORS (SUCH AS LUMBI	
FRAMING SYMBOLS:				
SS24	SIMPSON WSW STRONG WALL (24" WIDE)	( <b>P</b> ) ▼	CONTINOUS POST	
SW6	PLYWOOD SHEARWALL	(P) ∀	POST STOPS BELOW THIS FLOOF	
A	SHEARWALL HOLDOWN	P	POST STARTS AT THIS FLOOR	

** MAXIMU 4. FLOOR/	ECK LIVE LOAD = L/600 JM TOTAL LOAD DEFLECTION 3 ROOF FRAMING LAYOUT AND IERS) MUST BE SUBMITTED FO ICTION	CONNECT	ORS (SUCH AS LUMBER PACI		
FRAMING SYMBOLS:					
SS24	SIMPSON WSW STRONG WALL (24" WIDE)	(P) ▼	CONTINOUS POST		
SW6	PLYWOOD SHEARWALL	(P) ∀	POST STOPS BELOW THIS FLOOR		
A	SHEARWALL HOLDOWN	P	POST STARTS AT THIS FLOOR		

CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS. CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK. IMPORTANT FOUNDATION AND FRAMING NOTES:	
INFORTANT FOUNDATION AND FRAMING NOTES.	
1. ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.	DRAWING INFO
<ol> <li>FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS</li> <li>PLEASE SEE S-0</li> <li>FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-5</li> </ol>	ISSUE DATE 01-18-20
4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-5	
5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN	ISSUED FOR PERMIT
6. SLAB ON GRADE SHALL BE 4" CONCRETE SLAB WITH #3 AT 18" EACH WAY (MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15 FT MAX. SPACING (EACH WAY)	PROJECT NO. 19207
7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT EDGES AND AT 12" AT FIELD 8. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH 8d AT 6" NAILING AT	ENGINEER BB
EDGES AND AT 8" AT FIELD	REVISION SCHEDULE
IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN AND SHOP DRAWING:	REVISION SCHEDOLE
1. TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/	NO. DATE DESCRIPTION
TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS TEMPORARY/ PERMANENT BRACING PLANS FOR ENGINEER'S REVIEW	
2. TRUSS FRAMING PROFILE/ LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND	
ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/	
ARCHITECT PRIOR TO TRUSS DESIGN WORK. 3. TRUSS DEFLECTION CRITERIAS:	
FLOOR/DECK TOTAL LOAD = L/480 ROOF TOTAL LOAD = L/240	
FLOOR/DECK LIVE LOAD = L/600 ROOF SNOW LOAD = L/300 ** MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1.0" IN ALL CASES 4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE	
BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION	
FRAMING SYMBOLS:	

**IMPORTANT NOTES FOR CONTRACTOR:** CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS A 7627 79TH AVE SE, MERCER ISLAND, WA 98040

FRAMING PLAN

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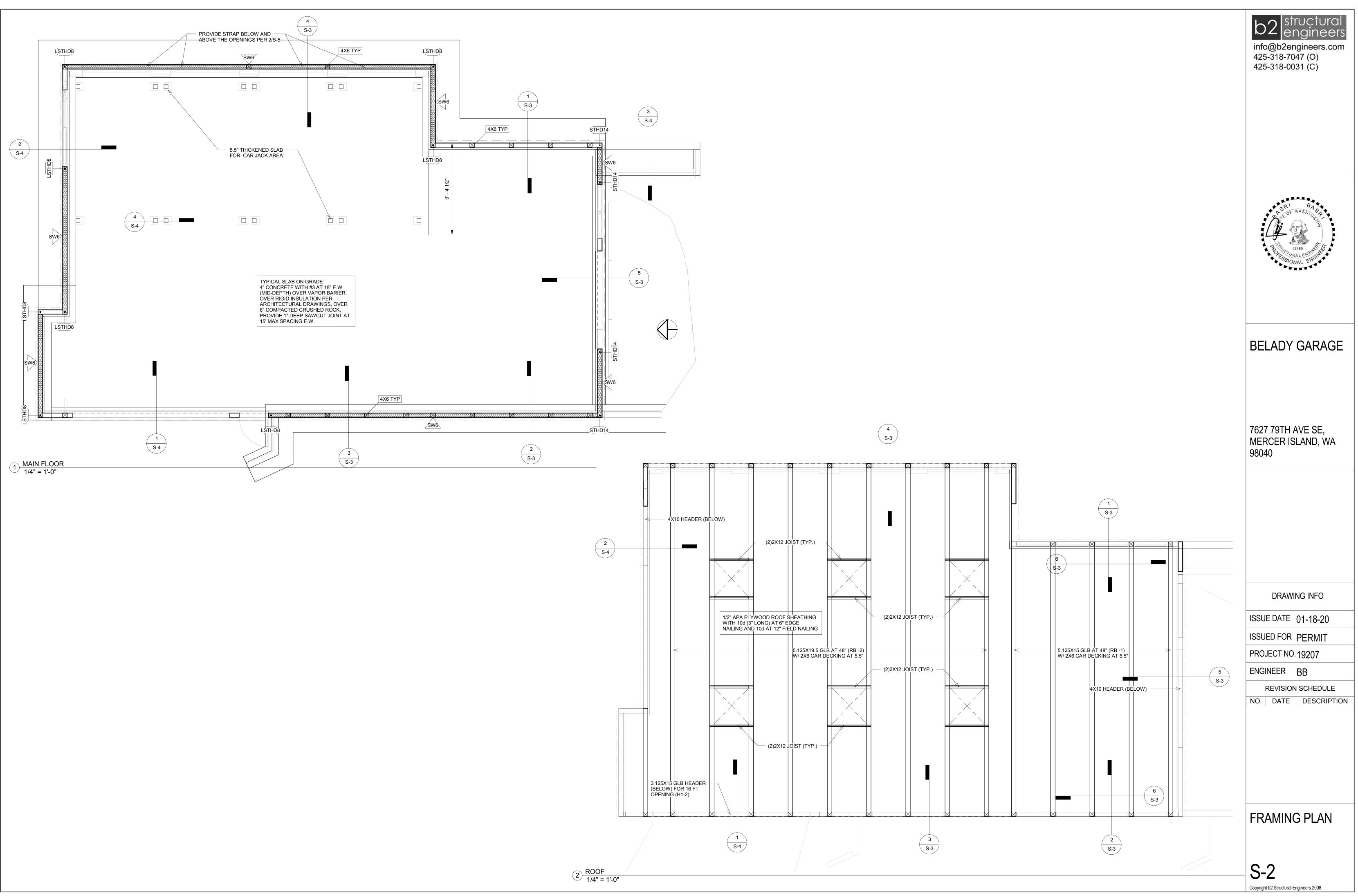
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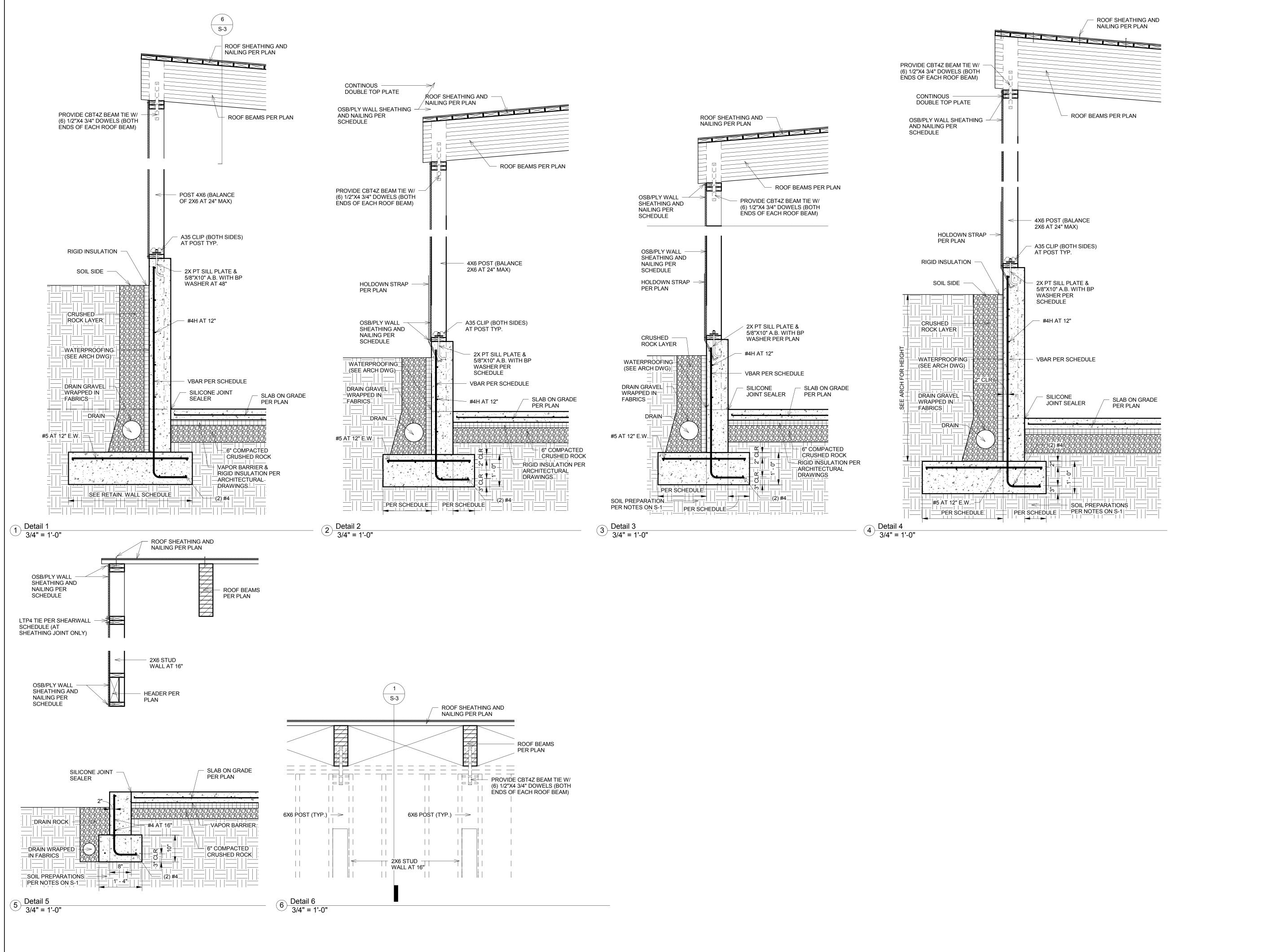


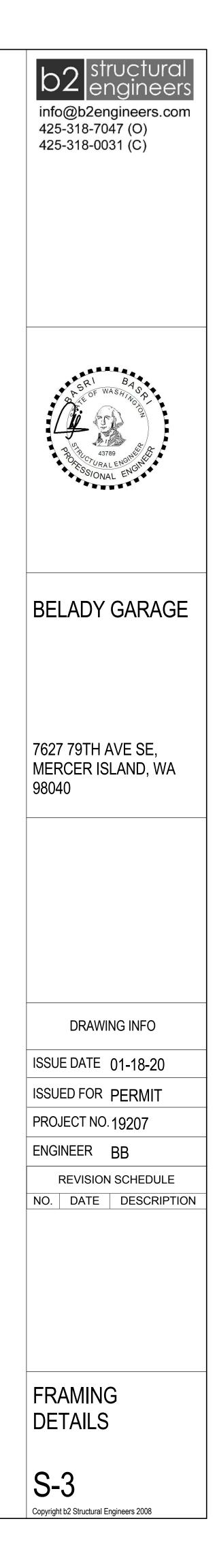
BELADY GARAGE

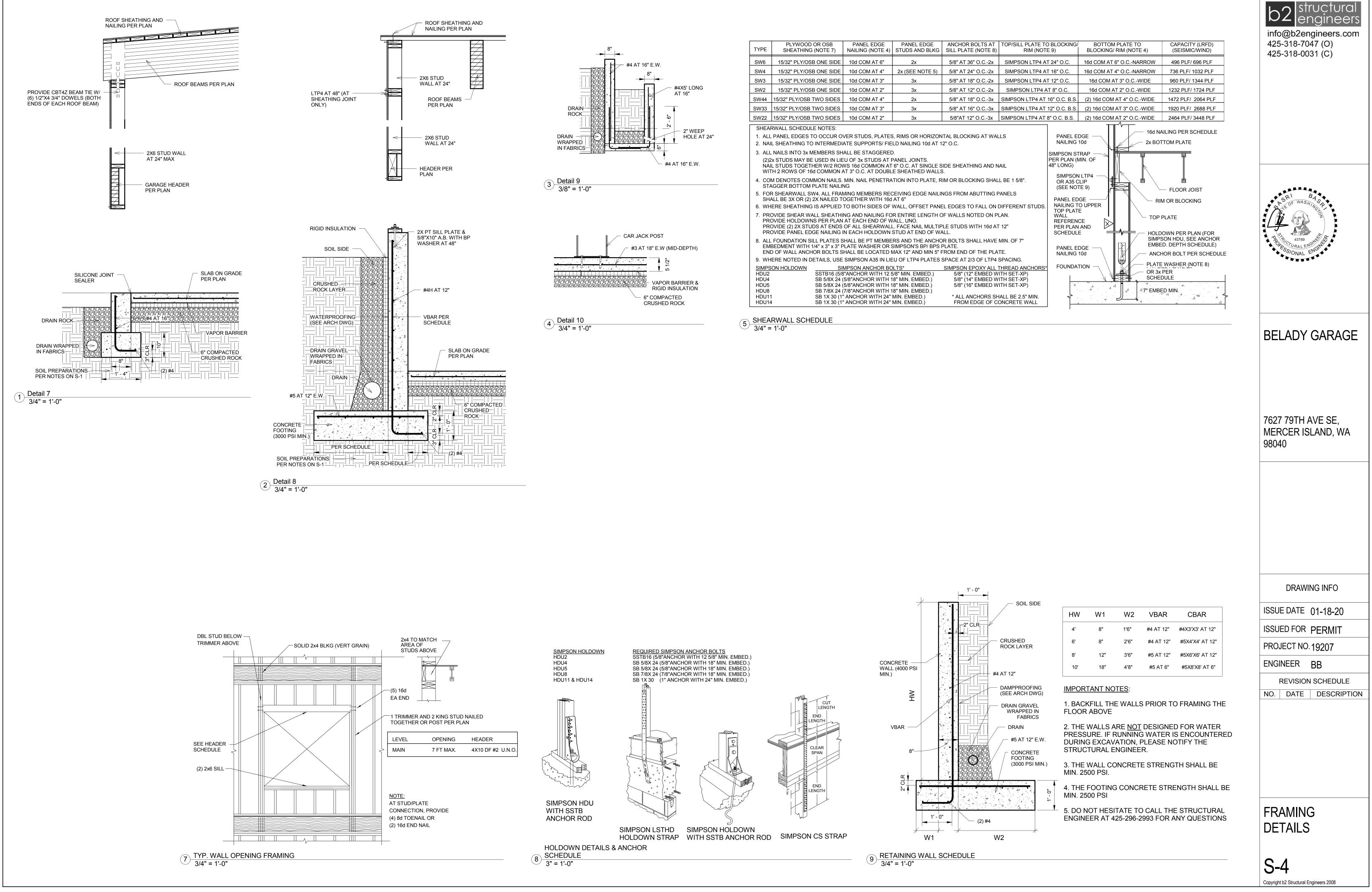
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425-318-0031 (C)

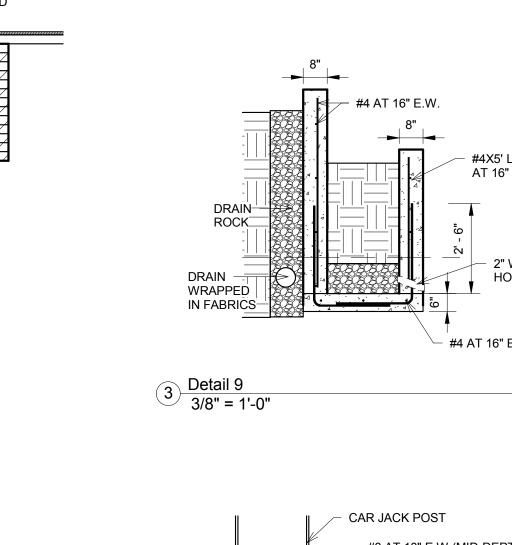












TYPE	PLYWOOD OR OSB SHEATHING (NOTE 7)	PANEL EDGE NAILING (NOTE 4)	PANEL EDGE STUDS AND BLKG	ANCHOR SILL PLA
SW6	15/32" PLY/OSB ONE SIDE	10d COM AT 6"	2x	5/8" AT
SW4	15/32" PLY/OSB ONE SIDE	10d COM AT 4"	2x (SEE NOTE 5)	5/8" AT
SW3	15/32" PLY/OSB ONE SIDE	10d COM AT 3"	Зx	5/8" AT
SW2	15/32" PLY/OSB ONE SIDE	10d COM AT 2"	3x	5/8" AT
SW44	15/32" PLY/OSB TWO SIDES	10d COM AT 4"	2x	5/8" AT
SW33	15/32" PLY/OSB TWO SIDES	10d COM AT 3"	3x	5/8" AT
SW22	15/32" PLY/OSB TWO SIDES	10d COM AT 2"	3x	5/8"AT
2. NAI 3. ALL (2)2 NAI WIT 4. CO ST/ 5. FOI SH/ 6. WH 7. PRO PRO	PANEL EDGES TO OCCUR O L SHEATHING TO INTERMEDI NAILS INTO 3x MEMBERS SH X STUDS MAY BE USED IN LIE L STUDS TOGETHER W/2 ROW TH 2 ROWS OF 16d COMMON / M DENOTES COMMON NAILS. AGGER BOTTOM PLATE NAILI R SHEARWALL SW4, ALL FRAI ALL BE 3X OR (2) 2X NAILED T IERE SHEATHING IS APPLIED OVIDE SHEAR WALL SHEATHI OVIDE SHEAR WALL SHEATHI OVIDE HOLDOWNS PER PLAN OVIDE (2) 2X STUDS AT ENDS OVIDE PANEL EDGE NAILING	ATE SUPPORTS/ FIE IALL BE STAGGERED EU OF 3x STUDS AT F WS 16d COMMON AT AT 3" O.C. AT DOUBL MIN. NAIL PENETRA NG MING MEMBERS REC OGETHER WITH 16d TO BOTH SIDES OF NG AND NAILING FO I AT EACH END OF W OF ALL SHEARWALI	LD NAILING 10d AT 1 D. PANEL JOINTS. 6" O.C. AT SINGLE S E SHEATHED WALLS TION INTO PLATE, R CEIVING EDGE NAILII AT 6" WALL, OFFSET PANE R ENTIRE LENGTH C (ALL, UNO. FACE NAIL MULTIF	2" O.C. SIDE SHEA 3. UM OR BLC NGS FROM EL EDGES DF WALLS PLE STUDS
8. ALL EM	FOUNDATION SILL PLATES S BEDMENT WITH 1/4" x 3" x 3" F D OF WALL ANCHOR BOLTS S	SHALL BE PT MEMBE PLATE WASHER OR \$	RS AND THE ANCHC SIMPSON'S BP/ BPS I	OR BOLTS : PLATE.
	IERE NOTED IN DETAILS, USE			SPACE AT
<u>SIMPS</u>		MPSON ANCHOR BC		SIMPSON
	SSTB16 (5/8	3"ANCHOR WITH 12 5	5/8" MIN. EMBED.)	5/8" (*
<u>SIMPS</u> HDU2	SSTB16 (5/8 SB 5/8X 24 SB 5/8X 24	8"ANCHOR WITH 12 5 (5/8"ANCHOR WITH 1 (5/8"ANCHOR WITH 1	5/8" MIN. EMBED.) 8" MIN. EMBED.) 8" MIN. EMBED.)	5/8" ( <i>*</i> 5/8" ( <i>*</i>
<u>SIMPS</u> HDU2 HDU4	SSTB16 (5/8 SB 5/8X 24 SB 5/8X 24 SB 5/8X 24 SB 7/8X 24	3"ANCHOR WITH 12 5 (5/8"ANCHOR WITH 1	5/8" MIN. EMBED.) 8" MIN. EMBED.) 8" MIN. EMBED.) 8" MIN. EMBED.)	<u>SIMPSON</u> 5/8" (1 5/8" (1 5/8" (1 * ALL /

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